CITY OF RICHLAND DEVELOPMENT SERVICES DIVISION
STAFF REPORT TO THE HEARING EXAMINER

GENERAL INFORMATION:

PROPOSAL NAME:	Jadwin McMurray Apts
REQUEST:	Approval of a site plan application to construct five (5) multi-family residential buildings containing up to 114 dwelling units, a clubhouse/leasing office with associated parking and landscaping areas.
LOCATION:	The project site is located at 1866 Jadwin Avenue and is zoned C-LB (Commercial-Limited Business). The property is described as Assessor's Parcel Nos. 102982020745003 located in Section 2, Township 9 North, Range 28 Quarter N.W., Benton County, WA.
APPLICANT:	Evan Verduin
FILE NO.:	SPR2022-101
PROJECT TYPE:	Type II Site Plan Approval
HEARING DATE:	October 20, 2022
REPORT BY:	Matthew Howie, Senior Planner
RECOMMENDED ACTION:	Approved subject to conditions.

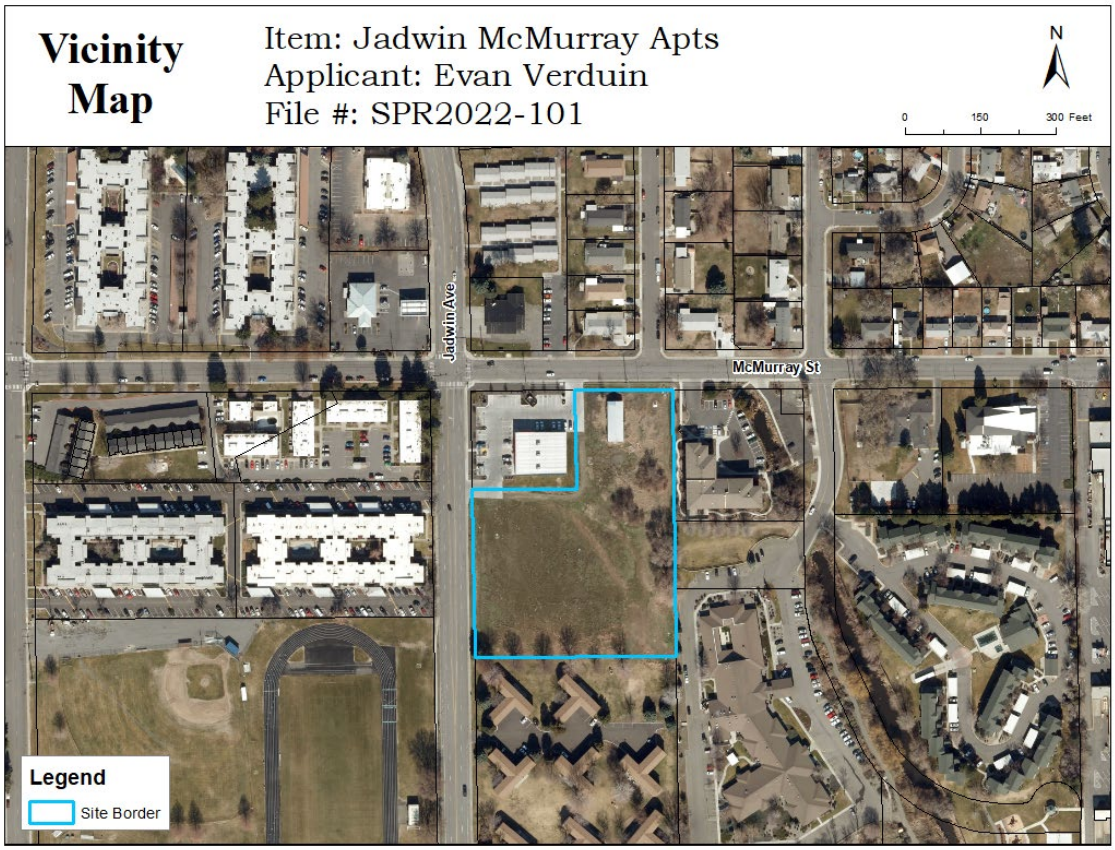


Figure 1 - Vicinity Map

DESCRIPTION OF PROPOSAL

Evan Verduin wishes to develop a 3.95-acre site with five (5) multi-family residential buildings containing up to 114 dwelling units, a clubhouse/leasing office with associated parking and landscaping areas. *Figure 1* illustrates the proposed site.

REASON FOR REQUEST

Richland Municipal Code (RMC) Chapter 23.48 requires site plan approval by the Hearing Examiner prior to issuance of any building permit for construction of any multi-family development containing twenty (20) or more dwelling units in the C-LB (Commercial Limited Business) zone.

Considering that multi-family residential development is a permitted use in the C-LB zone, RMC 23.48.010 precludes the site plan review process from resulting in denial of a development proposal. Zoning Code Section 23.48.040 outlines some aspects of a development which are subject to alteration/conditioning through the site plan review process. Language in RMC 23.48.040 provides clarity for those items potentially subject to modification as a result of this review:

> *23.48.040 Site plan – Conditions of approval*
> *Site plan approvals may be made subject to any condition(s) which the hearing examiner determines to be necessary to protect the public health, safety and welfare or otherwise bring a proposed development into compliance with the purpose and intent of this title. Such conditions may include but are not limited to increased setbacks, and buffers, including landscaping, fences and walls; restrictions on the type and location of outdoor lighting; surfacing of parking areas and driveways; the installation of stormwater drainage facilities; the construction and location of service roads and alleys; the points of vehicular ingress or egress; the regulation of the time and type of various activities; vibration, noise, odors or similar nuisances, and the type, size and location of signs.*

SITE DESCRIPTION & ADJACENT LAND USES

The site is comprised of one parcel totaling approximately 3.95-acres lying approximately 222-feet south and 217-feet west of the intersection of Jadwin Avenue and McMurray Street. The parcel forms a mirrored "L" shape wrapping around a smaller, corner lot at 1890 Jadwin. It measures approximately 658 feet in its longest diagonal dimension, and 390 feet at its narrowest diagonal dimension.

Beginning at the northeastern corner of the site and traveling southwest, the property's elevation drops by two feet. The site is accessed by two concrete stubs situated immediately east and south of 1890 Jadwin and ending 84- and 63-feet from the right of way, respectively. The stubs were installed at the time of the construction of 1890 Jadwin for the expressed purpose of creating future access to this newly proposed site.

The northern boundary abuts the McMurray Street public right-of-way. The western boundary of the site abuts the Jadwin Avenue right-of-way. The southern boundary of the site abuts a larger multi-family complex including 1782 and 1784 Jadwin Avenue. The eastern boundary of the site abuts two properties, 651 McMurray Street and 1745 Pike Avenue, both a part of a larger assisted living facility.

Last year the site was rezoned from C-1 Commercial, Neighborhood Retail Business to C-LB via ordinance 2022-15. In the course of that rezone process the records were discovered to "indicate existing sewer stubs on-site in the identical configuration as the residential apartments immediately to the south. These sewer stubs imply the site may have previously contained apartments belonging to the same original government residential development."

SURROUNDING ZONING AND LAND USES

North: Zoned Commercial, Limited Business with recently-vacated North Fire Station (used for storage) onsite and R-2 Residential duplex properties
East: Commercial, Limited Business Assisted Living Facilities
South: R-3 Residential Multi-Family Apartments
West: R-3 Residential Multi-Family Apartments and Parks and Public Facilities including the attached Chief Joseph Middle School sporting facilities

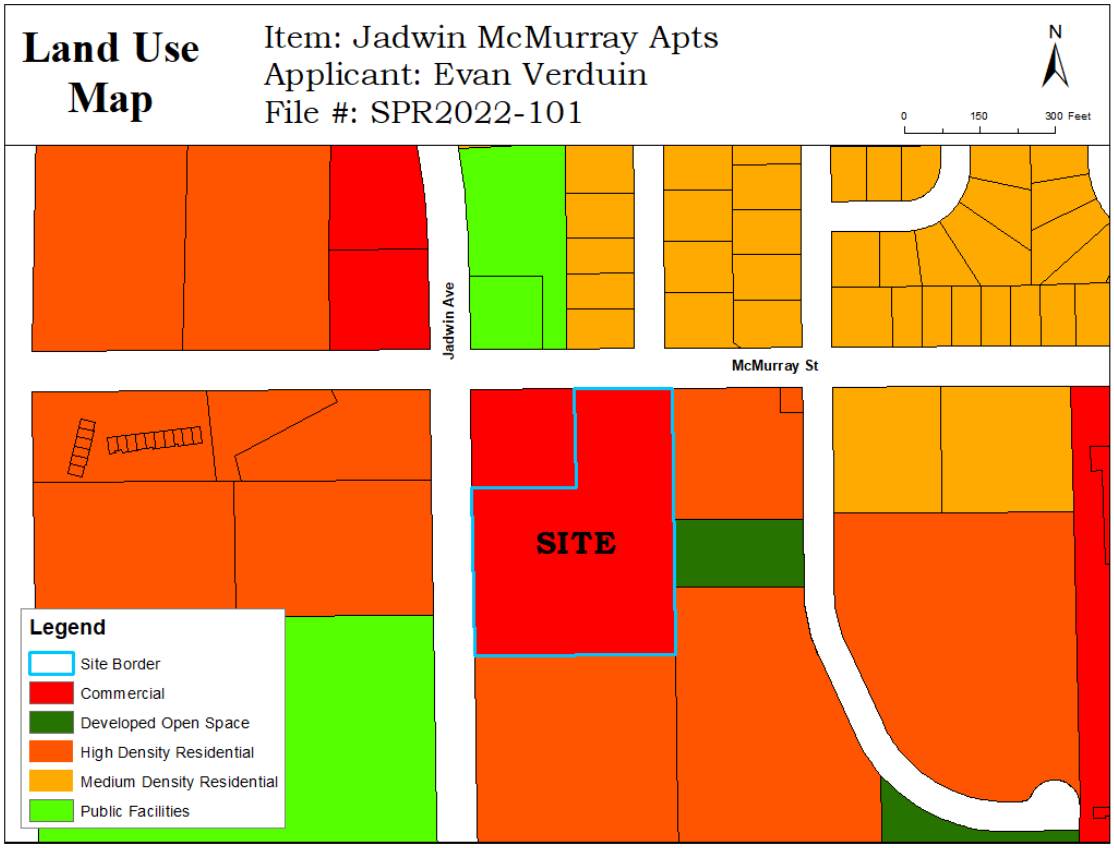


Figure 2 – Comprehensive Plan Land Use Map

COMPREHENSIVE PLAN

As illustrated in Figure 2 (above), Richland's Comprehensive Plan designates the site for Commercial development.

CURRENT ZONING

The subject site is zoned C-LB (Limited Business). Surrounding lands are zoned as follows:
North: Commercial, Limited Business (C-LB) and R-2 Residential
East: Commercial, Limited Business (C-LB)
South: R-3 Residential
West: R-3 Residential and Parks and Public Facilities (PPF)

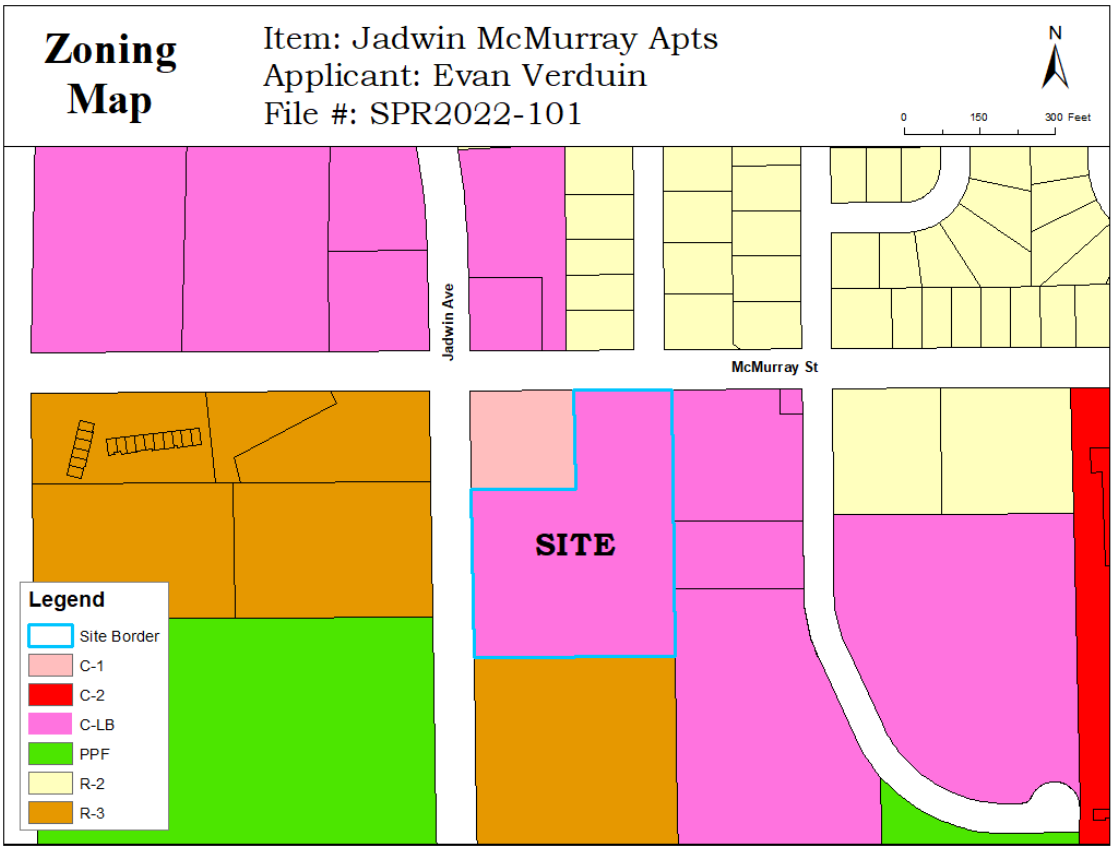


Figure 3 – Zoning Map

The Limited Business (C-LB) use district is designed to provide land for the location of professional and business offices, motels, hotels, and their associated accessory uses, and other compatible uses […] with regulations affording protection for developments in this and adjacent districts and in certain instances to provide a buffer zone between residential areas and other commercial and industrial districts [RMC 23.22.010(A)].

The commercial land use table (RMC 23.22.030) indicates the C-LB zone permits "apartment, condominium (3 or more units)". Likewise, RMC 23.22.040 provides a maximum residential density of 1 dwelling unit for every 1,500 square feet of land.

23.22.020 Performance standards and special requirements.
A. Commercial Limited Business. Residential uses permitted in the C-LB district must comply with the following standards except as provided by footnote (6) of RMC 23.22.040:

1. Minimum Yard Requirements.

a. Front Yard. Twenty feet except as provided by footnote (3) of RMC 23.18.040;

b. Side Yards. Each side yard shall provide one foot of side yard for each three feet or portion thereof of building height;
c. Rear Yards. Twenty-five feet.

2. Required Court Dimensions. Each court on which windows open from any room other than a kitchen, bathroom or a closet, shall have all horizontal dimensions measured at right angles from the windows to any wall or to any lot line other than a front lot line equal to not less than the height of the building above the floor level of the story containing the room, but no dimension shall be less than 20 feet.

3. Distance between Buildings. No main building shall be closer to any other main building on the lot than a distance equal to the average of their heights. This provision shall not apply if no portion of either building lies within the space between the prolongation of lines along any two of the opposite walls of the other building, but in any such situation the buildings shall not be closer to each other than a distance of 10 feet.

4. Percentage of Lot Coverage. Apartment buildings in a C-LB district shall cover not more than 33 percent of the area of the lot.

Referenced footnote 6 reads:
6. In any commercial limited business (C-LB), central business (CBD) or in any commercial winery (CW) zoning district that directly abuts a single-family zoning district, the following buffer, setback and building height regulations shall apply to all structures:

a. Within the commercial limited business (C-LB), the central business district (CBD) and the commercial winery (CW) districts, buildings shall maintain at least a 35-foot setback from any property that is zoned for single-family residential use. Single-family residential zones include R-1-12 – single-family residential 12,000, R-1-10 – single-family residential 10,000, R-2 – medium-density residential, R-2S – medium-density residential small lot, or any residential planned unit development that is comprised of single-family detached dwellings.

b. Buildings that are within 50 feet of any property that is zoned for single-family residential use in commercial limited business (C-LB) and the commercial winery (CW) districts and buildings that are within 50 feet of any property that is zoned for and currently developed with a single-family residential use in the central business district (CBD) (as defined in footnote (6)(a)) shall not exceed 30 feet in height. Beyond the area 50 feet from any property that is zoned for single-family residential use, building height may be increased at the rate of one foot in building height for each additional one foot of setback from property that is zoned for single-family residential use to the maximum building height allowed in the C-LB, CW and CBD zoning districts, respectively.

c. A six-foot-high fence that provides a visual screen shall be constructed adjacent to any property line that adjoins property that is zoned for single-family residential use, or currently zoned for and developed with a single-family residential use in the CBD district. Additionally, a 10-foot landscape strip shall be provided adjacent to the fence. This landscape strip may be used to satisfy the landscaping requirements established for the landscaping of parking facilities as identified in RMC 23.54.140.

d. In the C-LB and CW districts, a 20-foot setback shall be provided for any side yard that adjoins a street.

The various standards contained within footnote 6 do not apply to this application as the property is not immediately adjacent to a single-family residential district.

C-LB DIMENSIONAL STANDARDS

The following standards apply in the C-LB zone per RMC 23.22.020 which preempt the standard dimensional requirements set forth in RMC 23.22.040:

Front yard setback:	20 feet (***compliance verified – 46'10" from right-of-way***)
Side yard setback:	One (1) foot of side yard for each three feet or portion thereof of building height; (***compliance verified – 99'1.5" from right-of-way***)
Rear yard setback:	Twenty-five feet (***compliance verified – 26' to property line***)

ZONING REVIEW AUTHORITY

RMC Section 19.20.030 designates the Hearing Examiner as the hearing body responsible for conducting the review of site plan approval applications and RMC 23.48.020 triggers the need for site plan approval for multi-family residential developments containing 20 or more units in the C-LB zone.

PUBLIC NOTICE

Application Date:	August 16, 2022
Combined Notice of Application & Hearing Mailed:	September 21, 2022
Combined Notice of Application & Hearing Posted:	September 21, 2022
Combined Notice of Application & Hearing Published:	September 25, 2022
Public Hearing:	October 20, 2022

A notice of hearing was provided through posting of the property, mailing of notice to property owners within 300 feet of the site and publication in the *Tri-City Herald* newspaper. Copies of the notices and affidavits are included in *Exhibit 5*.

UTILITY AVAILABILITY

City utility mapping records indicate the site contains an underground network of private sewer and water lines laid out to serve the previous on-site government apartments. An image of said utilities is provided below.

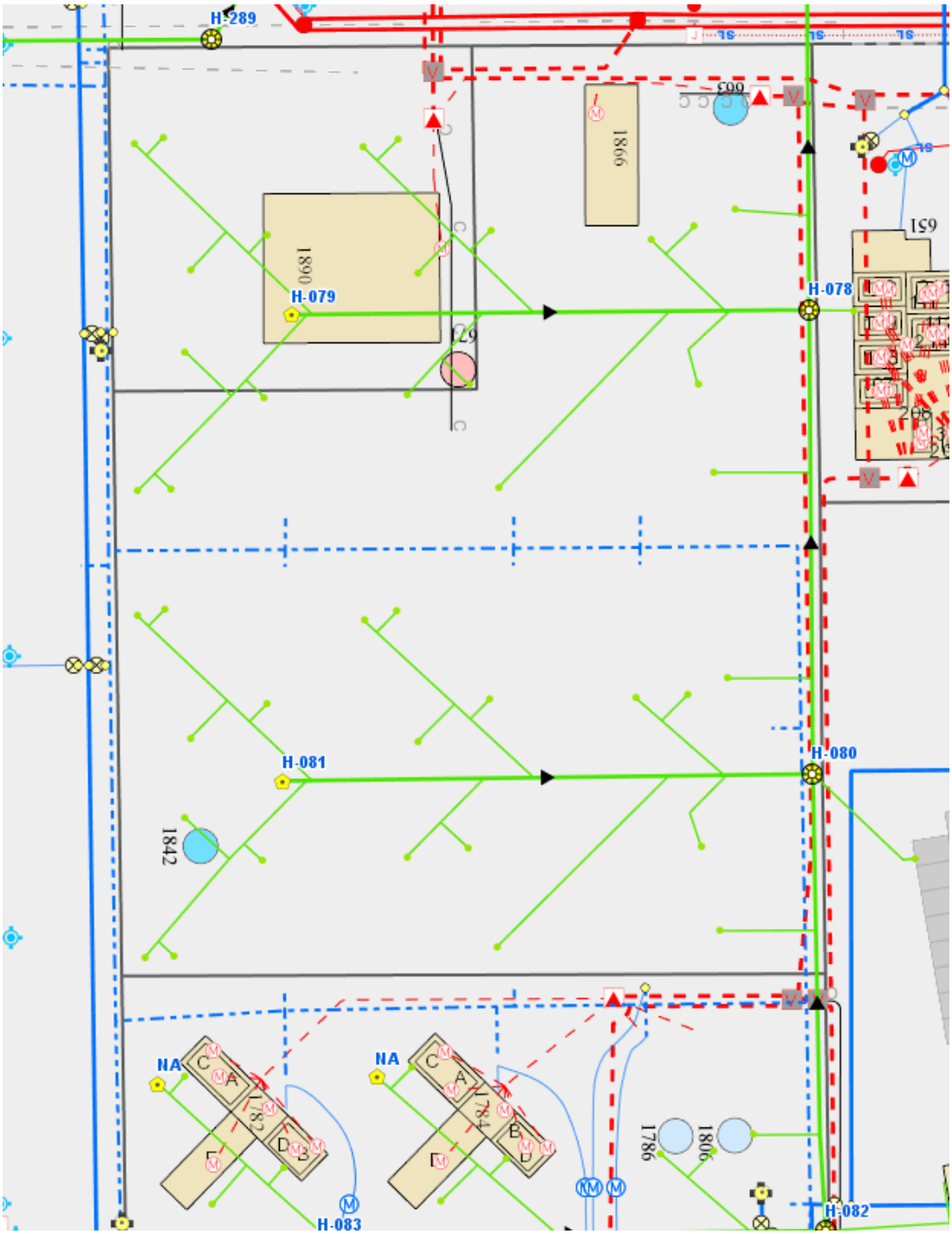


Figure 4 - Utilities Map

(Blue = water, Green = sewer, Red = Electrical power)

Sewer
1866 Jadwin features pre-existing active 8-inch gravity sewer mains, which both appear to feed into an 8-inch gravity main exiting the site. The exiting sewer main is aligned with the existing easement along the eastern border of the site. Service at or adjacent to site along right-of-way is of adequate capacity to serve future development of the site.

Water
An abandoned 6-inch water main located parallel to McMurray Street, bisects the site and appears to connect back to mains running between the Jadwin Avenue and the property line, and tie back to the multi-family housing, including 1784 Jadwin. Service at or adjacent to site along right-of-way is of adequate capacity to serve future development of the site.

Power
Richland Energy Services (RES), a municipal public utility district, will service development on the site. The site currently has underground electric service running between a utility vault on McMurry Street and the 1784 Jadwin along the property line in a pre-existing easement. Service at or adjacent to site along right-of-way is of adequate capacity to serve future development of the site.

TRANSPORTATION & ACCESS

Access into the site will continue to come directly from stubs along the 1890 Jadwin property back to Jadwin Avenue and to McMurry Street. Jadwin Avenue is classified a “Minor Arterial” and McMurry Street a “Major Collector”.

In terms of access, the site benefits from its direct access to Jadwin Avenue and McMurray Street. Commercial, office, and high-density residential uses are appropriately applied in higher-impact areas such as sites near busy roadways and other transportation facilities. Jadwin and McMurray serve as significant routes north-south and east-west across Richland to connect the site back to other destinations for employment, commerce, and, recreation.

SEPA

The project requires compliance with the provisions of the State Environmental Policy Act. The applicants filed a SEPA checklist. City staff reviewed the checklist, plans and application materials and issued a Determination of Non-Significance on July 1, 2022 (*Exhibit 4*).

AGENCY COMMENTS

A variety of public agencies and City departments were given an opportunity to comment on the proposal. Copies of all agency comments received by the City are included as *Exhibit 6*.

PUBLIC COMMENTS

Owners of all properties within 300-feet of the plat site were directly notified of the project by way of USPS mailing. At the time this report was prepared, the City received no written comments from the public.

ANALYSIS

The above zoning section of this report provides the applicable standards against which the proposed site plan is evaluated; it is the purpose of this section of the report to enter a detailed zoning review into the record.

Staff review of the site plan has resulted in a finding of compliance with the minimum setback requirements of the C-LB zone and the performance standards thereof outlined in the *C-LB Dimensional Standards* section of this report. Further review of revised site plan(s) and relevant information is necessary to ensure compliance.

Building Height

The C-LB zone allows buildings up to 55-feet in height (RMC 23.22.040). Building height is the vertical distance from grade plane to the average height of the highest roof surface (RMC 23.06.455). According to the SEPA Checklist, the tallest height of any proposed building will be 40', within the applicable height limits.

Parking

The minimum parking rate applied to multi-family developments is 1.5 stalls per dwelling unit (RMC 23.54.020(A)) and 1 stall/unit in the case of studio apartments.

Minimum parking requirements are calculated as follows:
192 standard units x 1.5 stalls = 288 stalls required

Total = 288 stalls required

The proposed site plan indicates 290 parking stalls will be provided.

Landscaping

RMC 23.54.140 provides the landscaping requirements which must be met in order to approve a site plan permit request. Provided the landscaping is installed and completed as is currently proposed, the proposed landscaping plan meets all of the various requirements contained within RMC 23.54.140 (See *Exhibit 3* for Landscape Plans).

Critical Areas

Subject site is not within a marked Critical Area.

Shoreline Master Program

The subject site lies far outside of the jurisdiction of the Shoreline Master Program. This project will have no effect on shorelines of statewide significance. Shoreline permitting requirements are not applicable in this case.

CONCLUSION AND RECOMMENDATION:

Staff has completed its review of the request for site plan approval (SPR2022-101) and recommends that the Richland Hearing Examiner to approve the application with conditions found during preparation of this staff report.

RECOMMENDED CONDITIONS OF APPROVAL

Public Works

Site Plan Specific Conditions

1. 10-foot public utility easements are needed along the Jadwin and McMurray frontages.

General Conditions

2. All final, approved plans for public improvements shall be submitted prior to pre-con on a 24" x 36" hardcopy format and also electronically. Addendums are not allowed, all information shall be supplied in full size (and electronic) format. When construction of the public infrastructure has been substantially completed, the applicant shall provide paper and electronic record drawings in accordance with the City's "Record Drawing Requirements". The electronic record drawings shall be submitted in an AutoCAD format compatible with the City's CAD software. The final record drawings shall be submitted and approved by the City before the final punchlist inspection will be performed. All final punchlist items shall be completed or financially guaranteed prior to final acceptance.
3. A copy of the construction drawings shall be submitted for review to the appropriate jurisdictions by the developer and his engineer. All required comments / conditions from all appropriate reviewing jurisdictions (e.g.: Benton County, any appropriate irrigation districts, other utilities, etc.) shall be incorporated into one comprehensive set of drawings and resubmitted (if necessary) for final permit review and issuance. Any and all necessary permits that may be required by jurisdictional entities outside of the City of Richland shall be the responsibility of the developer to obtain.
4. Any work within the public right-of-way or easements or involving public infrastructure will require the applicant to obtain a right-of-way construction permit prior to beginning work, per RMC Chapter 12.08. The applicant shall pay a plan review fee based on a cost-per-sheet of engineering infrastructure plans. This public infrastructure plan review fee shall apply each time a project is submitted for review. This fee will be different for commercial projects versus subdivision projects. Please visit the Public Works Private Development page on the City's webpage to find the current per-sheet fee. A permit fee in the amount equal to 3% of the construction costs of the work within the right-of-way or easement will be collected at the time the construction permit is issued.
5. Public utility infrastructure located on private property will require recording of a City standard form easement prior to final acceptance of the infrastructure. The City requires preparation of the easement legal description by the developer two weeks prior to the scheduled date of final occupancy. Once received, the City will prepare the easement document and provide it to the

developer. The developer shall record the easement at the Benton County Assessor and return a recorded original document to the City.

6. A pre-construction conference will be required prior to the start of any work within the public right-of-way or easement. Contact the Public Works Engineering Division at 942-7500 to schedule a pre-construction conference.
7. All plan sheets involving construction of public infrastructure shall have the stamp of a current Washington State licensed professional engineer.

Design Standards

8. Public improvement design shall follow the following general format:
    a. All materials and workmanship shall be in conformance with the latest revision of the City of Richland Standard Specifications and Details, Public Infrastructure Design Guidelines and the current edition of the State of Washington Standard Specifications for Road, Bridge, and Municipal Construction. Please confirm that you have the latest set of standard specs and details by visiting the City's web page.
    b. Fire hydrant location shall be reviewed and approved by the City Fire Marshal.
    c. All utilities shall be extended to the adjacent property (properties) at the time of construction.
    d. Final design of the public improvements shall be approved at the time of the City's issuance of a Right-of-way Construction Permit for the proposed construction.
    e. All public improvements shall comply with the State of Washington and City of Richland requirements, standards and codes.
    f. The contractor shall be responsible for any and all public infrastructure construction deficiencies for a period of one year from the date of the letter of acceptance by the City of Richland.
9. If the project will be built in phases the applicant shall submit a comprehensive master plan for the sanitary sewer, domestic water, storm drainage, electrical, street lighting and irrigation system for the entire project prior to submitting plans for the first phase to assure constructability of the entire project.
10. If the City Fire Marshal requires a secondary emergency vehicle access (SEVA), it shall be included in the construction plan set and be designed to the following standards:
    a. 2-inches compacted gravel, minimum (temp. SEVAs only).
    b. 2% cross-slope, maximum.
    c. 5% slope, maximum. Any access road steeper than 5% shall be paved or be approved by the Fire Marshal.
    d. Be 20-feet in width.
    e. Have radii that are accommodating with those needed for City Fire apparatus.

    Secondary emergency vehicles accesses (SEVA's) shall be 20-feet wide, as noted. Longer secondary accesses can be built to 12-feet wide with the approval of the City of Richland Fire Marshal, however turn-outs are required

at a spacing acceptable to the Fire Dept. Temporary SEVA's shall be constructed with 2-inches of compacted gravel, at a minimum. Permanent SEVA's shall be paved with 2-inches of asphalt over 4-inches of gravel, at a minimum.

Traffic and Streets

11. The proposed access points are acceptable for this project, but any proposed changes to said driveways will be subject to approval by the City Engineer.
12. Shared access & maintenance easements should be recorded for both of the shared driveways, if none exist at this time.
13. The Jadwin Ave. and McMurray Street frontages shall be completed to City standards at the time this project is constructed.
14. All pedestrian ramps, driveway entrances and sidewalks shall be designed to current City standard details and A.D.A. standards.
15. The vision-clearance triangle needs to be shown on the construction plans, in accordance with RMC Chapter 12.11.020. The landscaping plan provided (Sheet L100) shows trees/landscaping within right-of-way and in the vision-clearance triangle, this is not allowed. Trees shall be kept on the property, and not planted in the ROW. The "vision triangles" depicted on sheet L100 are inadequate.
16. The internal roadways shall be constructed to provide for adequate fire truck & solid waste collection truck access & turnaround movements. The private drives within this plat are fire lanes and parking is restricted. The required no-parking signs shall be installed by the developer where applicable.

Domestic Water

17. A 10-foot wide exclusive domestic water easement shall be provided for any water main that is outside of the public Right-of-Way.
18. The developer will be required to demonstrate that all phases are capable of delivering adequate fire flows prior to construction plans being accepted for review. This may require looping of the watermain from off-site locations, or oversizing of the main where needed.
19. The fire hydrant layout shall be approved by the City Fire Marshal.
20. In accordance with RMC Chapter 18.13 and WAC 246-290 regarding Cross Connections, premise isolation backflow assemblies are required to be installed on the domestic water services of all new commercial buildings, immediately downstream of the City's water meter. This will be a requirement on the construction plans.

Sanitary Sewer

21. A 10-foot wide exclusive sanitary sewer easement shall be provided for any sewer main that is outside of the public Right-of-Way. If any manholes are located outside of the public Right-of-Way, maintenance truck access to said structure may be required.

Storm Water

22. The proposed storm drainage and grading of all areas within the proposed development shall be shown on the plans (most grading and drainage plans must be prepared by a licensed civil engineer). If site contains at least 1,000 sq.ft. of new asphalt, and/or contains 30% or more impervious surfaces, storm drainage calculations from a licensed civil engineer are required. Stormwater shall be kept on-site (on the developing property that generated it). Stormwater shall not be flowed onto adjacent properties, or to the public Right-of-Way, without first obtaining written permission.
23. The private on-site storm drainage system shall be designed following the core elements defined in the latest editions of the Stormwater Management Manual for Eastern Washington, the current Richland municipal codes, the Phase II Municipal Stormwater Permit, and the City's "Public Infrastructure Construction Plan Requirements and Design Guidelines". Calculations shall be stamped by a registered professional Civil Engineer. Prior to discharging any storm drainage waters from paved surfaces into drainage ditches, groundwater or a public system, an oil/water separator must be installed. The applicant's design shall provide runoff protection to downstream property owners.
24. The amount of post-development storm runoff from the proposed site shall be in compliance with RMC Chapter 16.06.

Project Acceptance Requirements

25. When the construction is substantially complete a paper set of "record drawings" shall be prepared by a licensed surveyor and include all changes and deviations. Please reference the Public Works document "RECORD DRAWING REQUIREMENTS & PROCEDURES" for a complete description of the record drawing process. All final punchlist items shall be completed or financially guaranteed prior to final acceptance of the project.
26. Public utility infrastructure located on private property will require recording of a City standard form easement prior to acceptance of the infrastructure and release of a certificate of occupancy. The City requires preparation of the easement legal description by the developer two weeks prior to the scheduled date of final occupancy. Off-site ("third party") easements or right-of-ways for City infrastructure are the responsibility of the developer to obtain. Once received, the City will prepare the easement document and provide it to the developer. The developer shall record the easement at the Benton County Assessor and return a recorded original document to the City prior to application for final occupancy.
27. Ten-foot wide public utility easements will be required along the right-of-ways adjacent to this project.

Benton-Franklin Health District

28. Benton-Franklin Health District will be responsible for permitting the usage of the public pool proposed for this site.

Benton Clean Air Agency

29. Benton Clean Air Agency (BCAA) requires the applicant submit a Proof of Contact: Soil Destabilization Notification for this project prior to any excavation/construction taking place. This will ensure that the proponent has the ability and resources to control fugitive dust emissions that may be created as a result of construction activities. This will also inform them of the regulations and requirements of the BCAA. Additionally, a written dust control plan must be developed and maintained for all soil destabilization projects and must be readily available upon request by the BCAA. Part of this plan is submitting the name of at least one person for the project so that the BCAA has a point of contact should we receive any dust complaints from the project.

EXHIBIT LIST

1. Application Materials
2. Site Plan
3. Landscape Plan
4. SEPA Checklist and DNS
5. Public Notice and Affidavits
6. Agency Comments

Exhibit 1

Application Materials

City of Richland
Development Services

625 Swift Blvd. MS-35
Richland, WA 99352
509-942-7794
509-942-7764

SITE PLAN REVIEW APPLICATION

☒ **Multi-Family** ☐ **Commercial**

Note: A Pre-Application meeting is required prior to submittal of an application.

APPLICANT INFORMATION			
Applicant Name: Evan Verduin, Trek Architecture			
Address: 122 S. Monroe #202	City: Spokane	State: WA	Zip: 99201
Phone Number: 509.315.4830	Email: evan@trekarch.com		

PROPERTY INFORMATION	
Legal Description: SECTION 2, TOWNSHIP 9 NORTH, RANGE 28, QUARTER NW: THE NORTHERLY 530.46 FEET OF BLOCK 745, PLAT OF RICHLAND	Size of Area (sq. ft.): 171,701 SF
Comprehensive Plan Designation: General Commercial	Zoning Classification: C-LB - Limited Business
General Description of Property Location: The property is 3.95 acres located southeast of the intersection of Jadwin and McMurray. The property has frontage on both streets, configured in an "L" shape with a corner parcel not under the same ownership. Access is available from both streets via shared approached with the corner parcel.	

DESCRIPTION OF PROPOSAL	
New development including (5) 3-story walk-up buildings for a total of 114 residential units as well as a 1-story clubhouse/leasing office.	
Gross Floor Area of Building: Building A: 19,176sf(x4), Building B: 13,854sf, SF, Building C: 2,072sf	Approximate Time Table of Construction (start – end): Begin fall 2022, completion summer 2023.
Total Dwelling Units: 114	Number of Required Parking Spaces: 173 stalls.
Comments or Additional Information:	

APPLICATION MUST INCLUDE
1. Completed application and filing fee 2. 1 – PDF of proposed site plan 3. 1 – 11 x 17 reduction of proposed site plan 4. 2 – Full size copies of proposed site plan 5. Other information as determined by Administrator

I authorize employees and officials of the City of Richland the right to enter and remain on the property in question to determine whether a permit should be issued and whether special conditions should be placed on any issued permit. I have the legal authority to grant such access to the property in question.

I also acknowledge that if a permit is issued for land development activities, no terms of the permit can be violated without further approval by the permitting entity. I understand that the granting of a permit does not authorize anyone to violate in any way any federal, state, or local law/regulation pertaining to development activities associated with a permit.

I hereby certify under penalty of perjury under the laws of the State of Washington that the following is true and correct:

1. I have read and examined this permit application and have documented all applicable requirements on the site plan.
2. The information provided in this application contains no misstatement of fact.
3. I am the owner(s), the authorized agent(s) of the owner(s) of the above referenced property, or I am currently a licensed contractor or specialty contractor under Chapter 18.27 RCW or I am exempt from the requirements of Chapter 18.27 RCW.
4. I understand this permit is subject to all other local, state, and federal regulations.

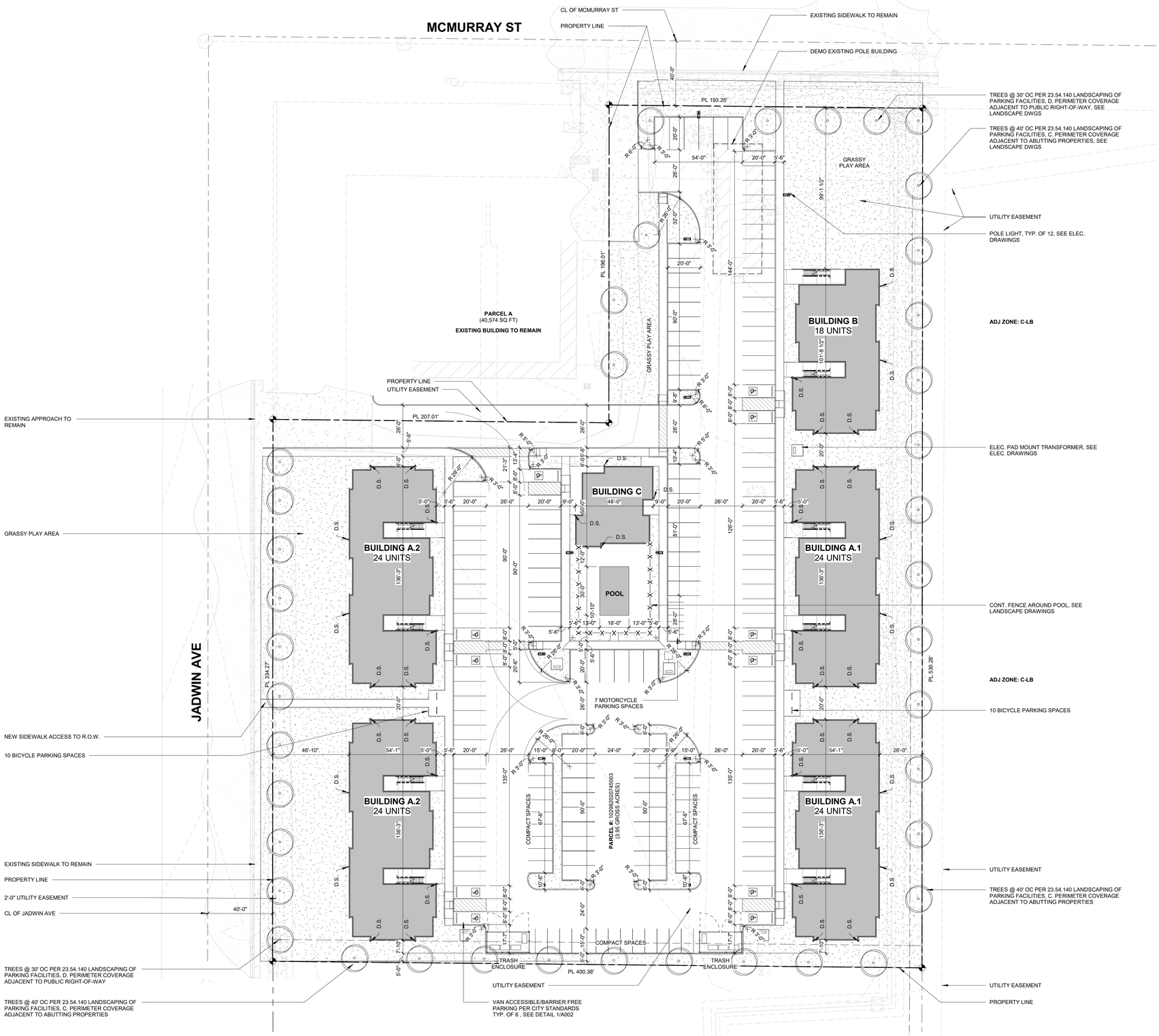
Note: This application will not be processed unless the above certification is endorsed by an authorized agent of the owner(s) of the property in question and/or the owner(s) themselves. If the City of Richland has reason to believe that erroneous information has been supplied by an authorized agent of the owner(s) of the property in question and/or by the owner(s) themselves, processing of the application may be suspended.

Applicant Printed Name: Evan Verduin

Applicant Signature: _____ Date 8/16/22

Exhibit 2

Site Plan



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SITE PLAN

SCALE: 1" = 30'-0"

PARKING CALCULATIONS

MINIMUM PARKING REQ'S:	1.5 PER UNIT
TOTAL UNIT COUNT:	114
LEASING OFFICE:	555SF/350 = 2
REQUIRED PARKING:	173 STALLS
PROVIDED PARKING:	
STANDARD STALLS:	131
COMPACT STALLS:	31
ACCESSIBLE STALLS:	11
TOTAL PARKING STALLS:	173 STALLS
REQUIRED ACCESSIBLE STALLS:	6

ACCESSIBLE PARKING CALCULATIONS

ACCESSIBLE PARKING STALLS PROVIDED:	11
ACCESSIBLE STALLS REQUIRED (IBC 1106.2 #3):	6
VAN ACCESSIBLE PARKING STALLS PROVIDED :	6
VAN ACCESSIBLE STALLS REQUIRED (IBC 1106.5):	1

TYPE-A/TYPE-B UNIT CALCULATIONS

MINIMUM REQ TYPE A UNITS (IBC 1107.6.2.2.1):	5% ALL UNITS ON A SITE SHALL BE CONSIDERED TO DETERMINE THE TOTAL NUMBER OF UNITS AND THE REQUIRED NUMBER OF TYPE A UNITS. TYPE A UNITS SHALL BE DISPERSED AMONG THE VARIOUS CLASSES OF UNITS, AS DESCRIBED IN SECTION 1107.6.
MINIMUM REQ TYPE B UNITS (IBC 1107.6.4.2):	WHERE ELEVATOR SERVICE IS NOT PROVIDED IN A STRUCTURE, ONLY THE DWELLING UNITS AND SLEEPING UNITS THAT ARE LOCATED ON STORIES INDICATED IN SECTIONS 1107.7.1.1 AND 1107.7.1.2 ARE REQUIRED TO BE TYPE A UNITS AND TYPE B UNITS, RESPECTIVELY.
TOTAL UNIT COUNT:	114
TOTAL TYPE A UNITS COUNT REQUIRED @ 5%:	6
TOTAL TYPE B UNITS COUNT REQUIRED :	28
TOTAL TYPE A UNITS PROVIDED:	10
TOTAL TYPE B UNITS PROVIDED:	28

TREKARCHITECTURE

GENERAL

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, DEVIATIONS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OTHER THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. DO NOT USE DIMENSIONS SHOWN. DRAWINGS ARE NOT TO BE SCALED.

DRAWING SCALES AS INDICATED ARE FOR REFERENCE ONLY, AND ARE NOT INTENDED TO ACCURATELY DEPICT ACTUAL OR DESIGNED CONDITIONS. WRITTEN DIMENSIONS SHALL GOVERN.

ARCHITECT
TREK ARCHITECTURE

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509.315.4830
HELLO@TREKARCH.COM

OWNER
JADWIN PROJECT LLC

915 W 2ND AVE.
SPOKANE, WA, 99201

PROFESSIONAL SEAL

NEW MULTI-FAMILY BUILDING FOR:
JADWIN MULTI-FAMILY

ADDRESS
1866 JADWIN AVE.,
RICHLAND, WA 99354

JOB
22.20

DRAWN BY
EJV

CHECKED BY
EJV

SCALE
As Indicated

DATE
08.15.2022

PROJECT STATUS
SITE PLAN REVIEW

REVISIONS

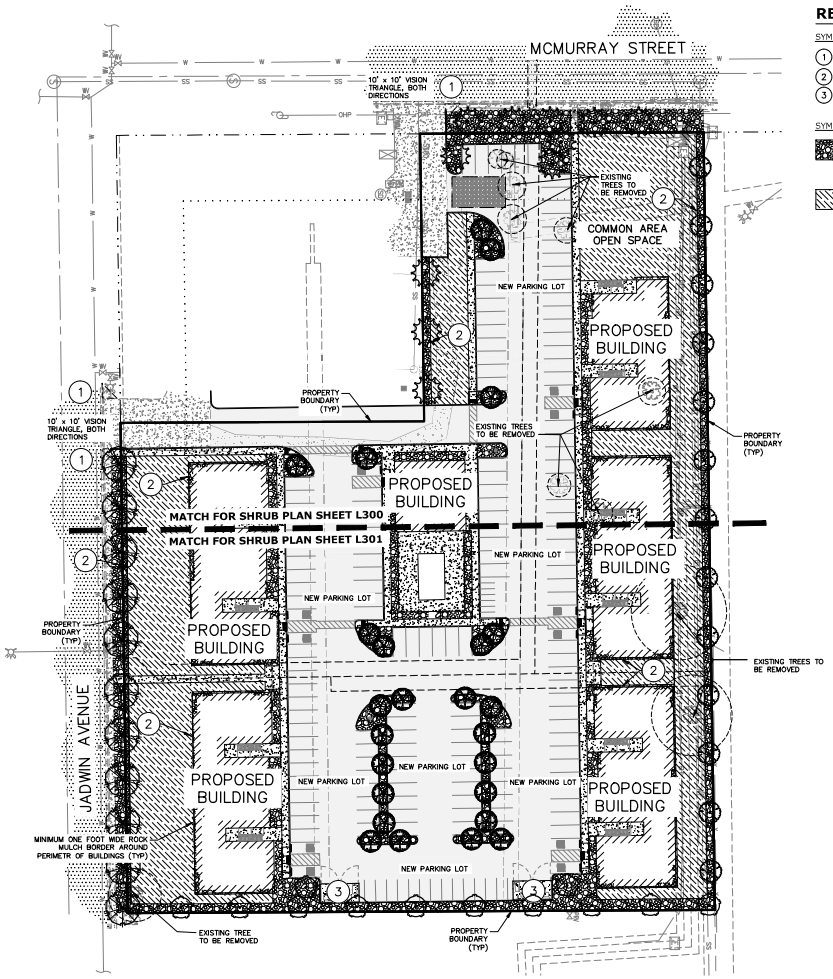
#	DESCRIPTION	DATE

SITE PLAN

A001

Exhibit 3

Landscape Plan



OVERALL LANDSCAPE SITE PLAN

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
1	VISION CLEARANCE TRIANGLE - PER RMC 25.54.140(G)(2).	
2	POLY EDGING - SEE DETAIL ON SHEET L400.	2,363 lf
3	TRASH RECEPTACLE - SEE ENGINEERING PLANS FOR MORE INFORMATION.	

SYMBOL	DESCRIPTION	QTY
	PLANTER AREA - 2" WASHED BASALT ROCK MULCH, MINIMUM 3" DEPTH. OVER COMMERCIAL GRADE WEED BARRIER - SEE DETAIL ON SHEET L400.	24,626 sf
	TURF MIX AREA - SEE HYDROSEED NOTES ON SHEET L400.	35,888 sf

CODE COMPLIANCE SUMMARY:

1. MCMURRAY STREET (TOTAL LENGTH AT PROPERTY LINE AT FRONTAGE = 176 LF) CLASS 1 STREET TREES TO BE PLANTED 30' O.C. = 6 TREES. UTILITY SETBACKS AND SIDEWALK REDUCED TREES TO 5. TREES ADJACENT TO OVERHEAD LINES SO CLASS 1 TREES ARE PROPOSED. SHRUB COUNT OF 1 PER 50 SF = 35 SHRUBS. SIDEWALK REDUCED SHRUBS TO 34 TOTAL.
2. JADWIN AVENUE (TOTAL LENGTH OF PROPERTY AT FRONTAGE = 317 LF) CLASS 2 STREET TREES TO BE PLANTED 30' O.C. = 11 TREES. SHRUB COUNT OF 1 PER 50 SF = 63 SHRUBS. SIDEWALKS REDUCED SHRUBS TO 61 TOTAL.
3. A 5' WIDE CONTINUOUS LANDSCAPE SCREEN IS REQUIRED ALONG PARKING FACILITIES AND BETWEEN BUILDINGS PER RMC 23.54.140(C) - TREES TO BE PLANTED 40' O.C. (TOTAL LENGTH OF EAST AND SOUTH PROPERTY = 954 LF) TREES TO BE PLANTED 40' O.C. = 24 TREES. STREET FRONTAGE TREES AT ENDS AND UNDERGROUND UTILITIES REDUCED TREE COUNT TO 23 TREES TOTAL. SHRUBS PLACED ALONG ABUTTING PROPERTY PERIMETERS ON SOUTH AND EAST PROPERTY LINES AS HEDGES - IN BETWEEN BUILDINGS AND ALONG PARKING LOTS.

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
1 inch = 40 ft.

SHEET INDEX

LEGEND

EXISTING FEATURES

- ASPHALT SURFACING
- CURB
- GRAVEL
- SIDEWALK OR CONCRETE
- FOUND POINT AS NOTED
- DRYWELL
- STORM MANHOLE
- CATCH BASIN
- GUY WIRE POLE
- POWER POLE/TELEPHONE POLE
- LIGHT POLE
- TELEPHONE ENCLOSURE
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- OR TREE (DECIDUOUS OR CONIFEROUS)
- W — WATER LINE
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE / CULVERT
- OHP — POWER LINE (OHP OR BP)
- BT — TELEPHONE LINE (OHT OR BT)
- G — GAS LINE
- 2434 — CONTOURS
- X — FENCE
- BFO — FIBER OPTIC LINE

PROPOSED IMPROVEMENTS

- ASPHALT SURFACING
- CURB
- CONCRETE OR SIDEWALK
- DRYWELL
- STORM MANHOLE
- OR CONCRETE INLET
- CURB INLET
- POWER POLE
- SIGN
- WATER VALVE
- WM WATER METER
- FIRE HYDRANT
- WV WATER SHUTOFF / WATER VAULT
- SANITARY SEWER MANHOLE
- CO CLEANOUT (CO)
- GM GAS METER
- 8"WA — WATER LINE (AS SIZED)
- SLEEVE FOR WATER / SEWER CROSSING
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE / CULVERT
- 1924 — CONTOURS
- STORM WATER SWALE / POND

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TREK ARCHITECTURE

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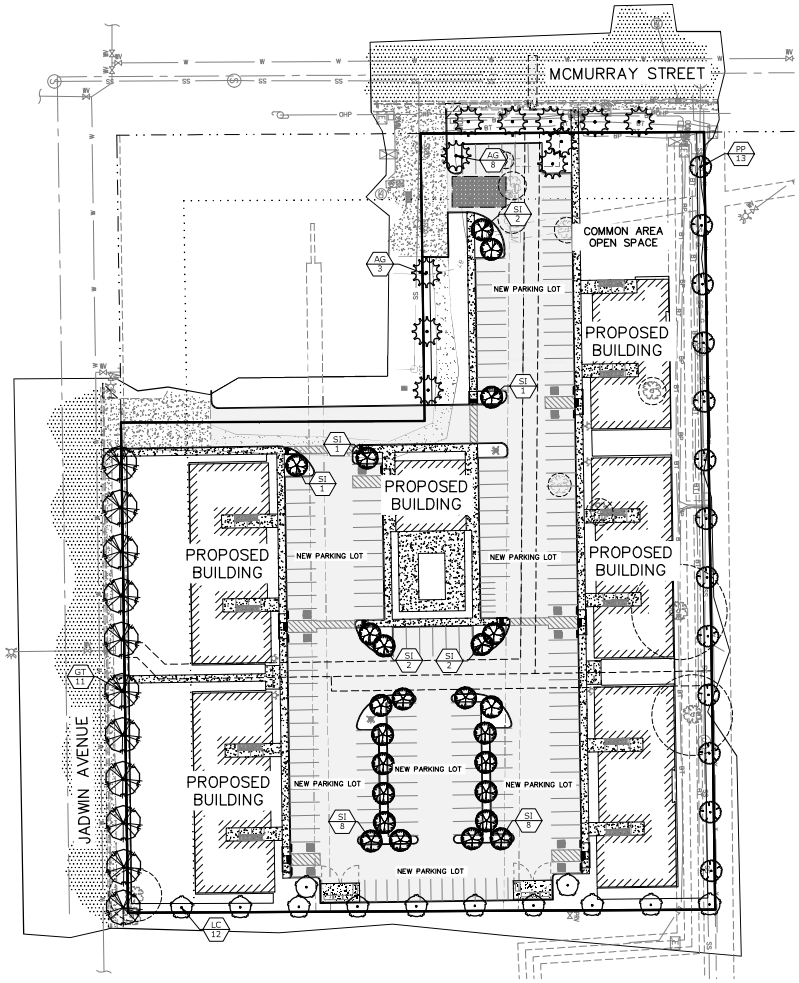
LANDSCAPE PLAN

L100



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AG	Acer tataricum 'GarAnn' TM	Hot Wings Tatarian Maple	1.5" Cal.	11
GT	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Honey Locust	1.5" Cal.	11
LC	Liquidambar styraciflua 'Clydesform' TM	Emerald Sentinel Sweet Gum	1.5" Cal.	12
PP	Populus tremuloides 'NE Arb' TM	Prairie Gold Quaking Aspen	1.5" Cal.	13
SI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	25

TREE PLAN NOTES:

1. IT IS THE INTENT OF THIS PLAN TO SHOW TREES ONLY. SHRUBS, GROUNDCOVER, AND MULCH NOT SHOWN FOR PLAN CLARITY.
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3. PLANT SYMBOLS SHALL DICTATE COUNT.
4. CONTRACTOR TO PLACE BLACK POLY EDGING BETWEEN ALL TURF AREAS AND PLANTER BEDS UNLESS OTHERWISE NOTED. EDGING SHALL END PERPENDICULARLY TO WALLS AND PAVING AND SHALL BE INSTALLED WITH TOP FLUSH WITH PAVING.
5. ALL PLANTER AND TURF AREAS TO RECEIVE 6" OF CLEAN TOPSOIL; PLANTER AREA TOPSOIL TO BE MIXED 50/50 WITH ORGANIC COMPOST. PLANTER AREAS TO RECEIVE 3" DEPTH (MIN.) MULCH OVER FINISHED TOPSOIL GRADE AFTER PLANTING, UNLESS STATED OTHERWISE ON PLANS.

GRAPHIC SCALE

40 0 20 40 80

(IN FEET)
1 inch = 40 ft.

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TREK ARCHITECTURE

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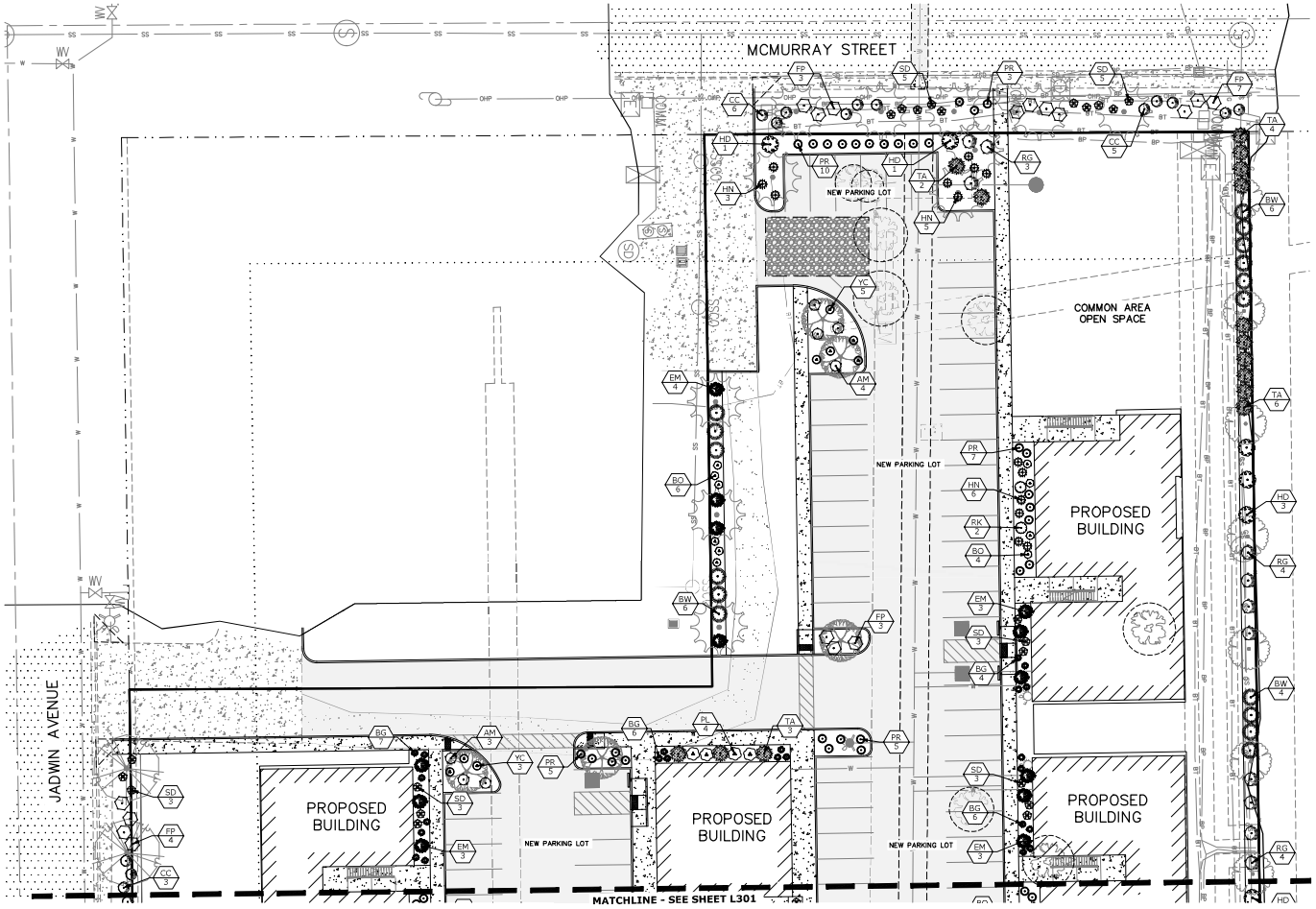
TREE PLAN AND SCHEDULE

L200



NORTH SITE SHRUB PLAN
SEE SHEET L100 FOR OVERALL PLAN

PLANT SCHEDULE NORTH SITE AREA

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AM	Aronia melanocarpa	Black Chokeberry	5 gal.	7
BO	Berberis thunbergii 'Orange Rocket'	Orange Rocket Japanese Barberry	5 gal.	10
BW	Berberis x gladwynesis 'William Penn'	William Penn Barberry	5 gal.	16
BG	Bouteloua gracilis	Blue Grama Grass	2 gal.	23
CC	Cotoneaster apiculatus	Cranberry Cotoneaster	5 gal.	14
EM	Euonymus fortunei 'Moonshadow' TM	Moonshadow Wintercreeper	5 gal.	13
FP	Fallugia paradoxa	Apache Plume	5 gal.	17
HN	Helianthemum nummularium 'Apricot'	Apricot Sunrose	1 gal.	14
HD	Holodiscus discolor	Oceanspray	5 gal.	5
PR	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	5 gal.	30
PL	Philadelphus microphyllus	Littleleaf Mockorange	2` Ht.	4
RG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	11
RK	Rosa x 'Radcor' TM	Rainbow Knock Out Rose	5 gal.	2
SD	Salvia dorrii	Desert Sage	5 gal.	22
TA	Taxus baccata 'Adpressa Aurea'	Gold-Stripe English Yew	5 gal.	15
YC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	5 gal.	8

SHRUB PLAN NOTES:

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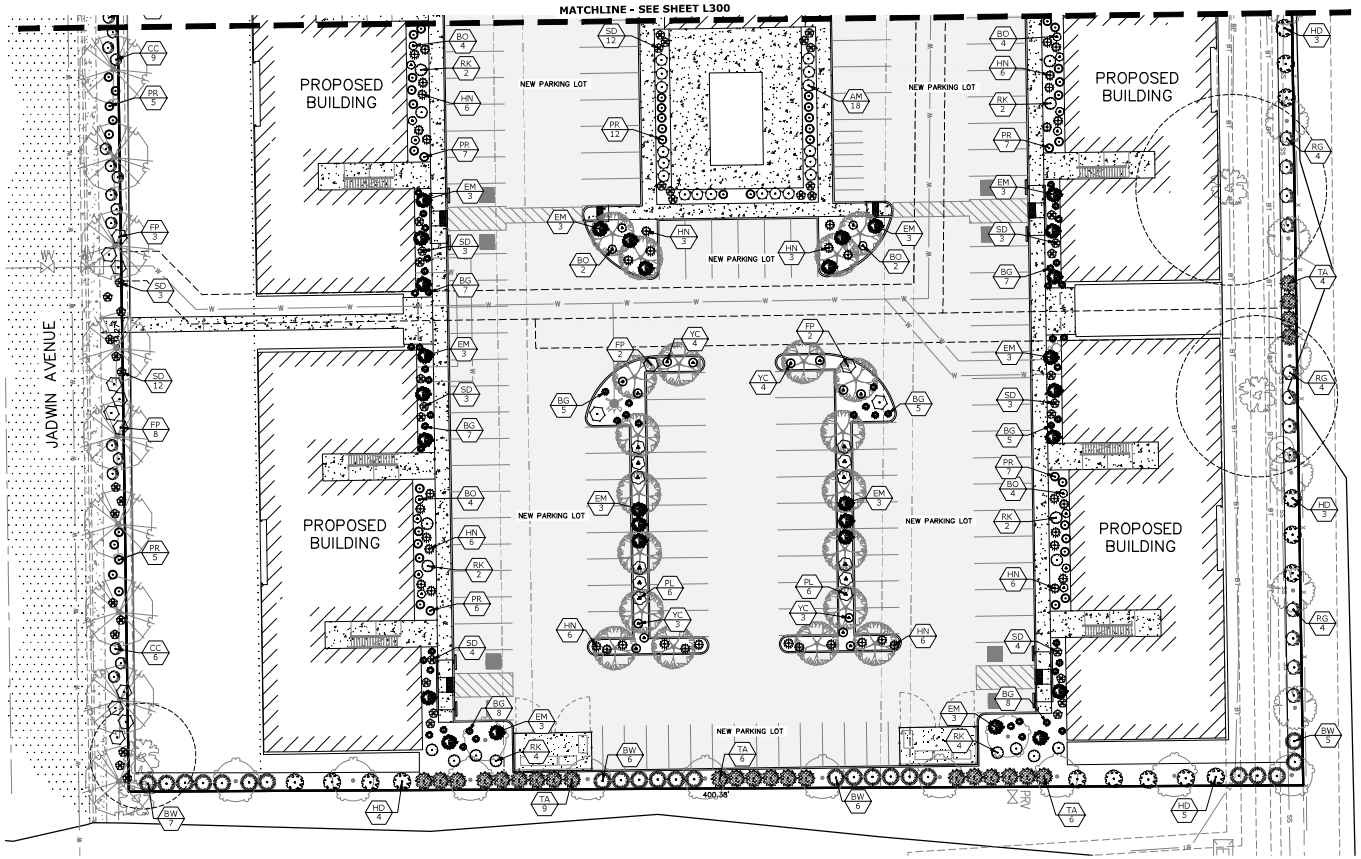
NORTH SITE SHRUB PLAN AND SCHEDULE

L300



SOUTH SITE SHRUB PLAN
SEE SHEET L100 FOR OVERALL PLAN

PLANT SCHEDULE SOUTH SITE AREA

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY
AM	Aronia melanocarpa	Black Chokeberry	5 gal.	18
BO	Berberis thunbergii 'Orange Rocket'	Orange Rocket Japanese Barberry	5 gal.	20
BW	Berberis x gladwynesis 'William Penn'	William Penn Barberry	5 gal.	24
BG	Bouteloua gracilis	Blue Grama Grass	2 gal.	52
CC	Cotoneaster apiculatus	Cranberry Cotoneaster	5 gal.	15
EM	Euonymus fortunei 'Moonshadow' TM	Moonshadow Wintercreeper	5 gal.	30
FP	Fallugia paradoxa	Apache Plume	5 gal.	15
HN	Helianthemum nummularium 'Apricot'	Apricot Sunrose	1 gal.	42
HD	Holodiscus discolor	Oceanspray	5 gal.	15
PR	Pennisetum setaceum 'Rubrum'	Purple Fountain Grass	5 gal.	49
PL	Philadelphus microphyllus	Littleleaf Mockorange	2` HL	12
RG	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal.	12
RK	Rosa x 'Radcor' TM	Rainbow Knock Out Rose	5 gal.	16
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YC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	5 gal.	14

SHRUB PLAN NOTES:

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SOUTH SITE SHRUB PLAN AND SCHEDULE

L301

GENERAL NOTES:

1. CONTRACTOR IS RESPONSIBLE TO READ ALL OF THE NOTES IN THESE PLANS PRIOR TO CONSTRUCTION.
2. CONTRACTOR TO KEEP A FULL SET OF TO-SCALE LANDSCAPE PLANS ON SITE FOR THE DURATION OF LANDSCAPE INSTALLATION.
3. CONTRACTOR TO LOCATE UNDERGROUND UTILITIES, i.e., CABLES, CONDUIT, GAS, WATER, SEWER, ETC. PRIOR TO DIGGING. CONTRACTOR TO BE LIABLE AND PAY FOR REPAIR TO ANY AND ALL UTILITY DAMAGES AT NO EXTRA COST TO THE OWNER. CALL 811 BEFORE DIGGING, EXCAVATING, TRENCHING, DEMOLITION OR OTHER CONSTRUCTION.
4. NOT ALL SPRINKLER HEADS, VALVES, BACK-FLOW PREVENTION DEVICES, PIPING OR OTHER EQUIPMENT ARE SHOWN ON THIS PLAN. LOCATE ALL SPRINKLER HEADS, VALVES, BACK-FLOW PREVENTION DEVICES, PIPING OR OTHER EQUIPMENT IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICTS.
5. SCOPE OF WORK: THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION AND SERVICES NECESSARY TO COMPLETE THE CONSTRUCTION SHOWN ON THE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR APPLICATION AND PAYMENT OF ALL REQUIRED PERMITS AND INSPECTIONS. LOCAL CODES PREVAIL.
6. ALL PLANTER AND TURF AREAS TO RECEIVE 6" OF CLEAN TOPSOIL; PLANTER AREA TOPSOIL TO BE MIXED 50/50 WITH ORGANIC COMPOST. PLANTER AREAS TO RECEIVE 3" DEPTH (MIN.) MULCH OVER FINISHED TOPSOIL GRADE AFTER PLANTING, UNLESS STATED OTHERWISE ON PLANS.
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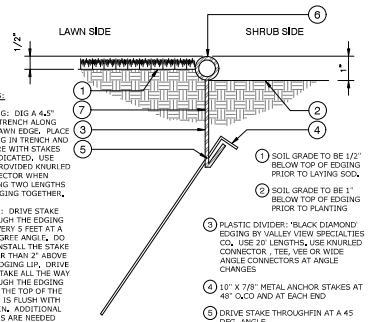
8. ALL PLANTS SHALL BE PLANTED THE DAY OF DELIVERY AND BE "MUDDED IN" DURING BACKFILLING - BACKFILL IS TO BE MIXED WITH WATER TO ACHIEVE A THICK MUD DURING BACKFILL OPERATIONS. EACH PLANT NEEDS A FORMED WATER WELL THAT MUST BE FILLED WITH WATER BEFORE LEAVING THE SITE. TREE WATER WELLS SHOULD BE FILLED 3-4 TIMES A WEEK DURING GROWING SEASON(S) TO ESTABLISH OVER AT LEAST THE FIRST YEAR OF PLANTING AS A SUPPLEMENT TO AUTOMATIC IRRIGATION.
9. SEE ENGINEERING DRAWINGS FOR DETAILED SITE, UTILITY AND DRAINAGE FEATURE INFORMATION.
10. SEE ARCHITECTURAL DRAWINGS FOR DETAILED BUILDING, SITE LIGHTING AND HARDSCAPE INFORMATION RELATED TO PROPOSED BUILDINGS.
11. PRESERVE AND PROTECT EXISTING HARDSCAPE TO REMAIN. DAMAGE TO HARDSCAPE INCURRED AS A RESULT OF LANDSCAPE INSTALLATION OPERATION TO BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.
12. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES FOUND BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS.
13. CONTRACTOR TO KEEP A FULL SET OF LANDSCAPE PLANS ON SITE FOR THE DURATION OF INSTALLATION.
14. GENERAL CONTRACTOR TO PROVIDE ROUGH GRADE IN ALL TURF AREAS AND PLANTER BEDS WITHIN 0.10 FOOT OF GRADE SHOWN ON CIVIL DRAWINGS MINUS THE COMBINED TOTAL DEPTH OF TOPSOIL AND MULCH SPECIFIED AND AN ADDITIONAL 0.5 INCH DEPTH WITHIN 1 HORIZONTAL FOOT OF EXISTING AND/OR PROPOSED HARDSCAPES.
15. GENERAL CONTRACTOR TO CLEAR AND GRUB TURF AREAS AND PLANTING BEDS OF ALL WEEDS, ROOTS, LAWN AND DEBRIS; SPECIFIED LANDSCAPE AREAS TO BE SMOOTH AND CONTOURED AS SHOWN ON CIVIL DRAWINGS; ANY ROCK/DEBRIS LARGER THAN 1.5" TO BE REMOVED FROM TOP 12" OF SOIL AS MEASURED FROM FINISHED GRADES.
16. THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF FINAL PUNCH-LIST WORK.
17. IMPORTED TOPSOIL SHALL CONSIST OF SANDY LOAM; NONTOXIC, FREE OF NOXIOUS WEEDS, GRASS, BRUSH, STICKS OR ROCKS GREATER THAN ½" IN DIAMETER, UNLESS OTHERWISE NOTED.
18. CONTRACTOR TO RAKE FINISH GRADE SMOOTH AND NATURAL. NO SLOPE TO EXCEED 3:1.
19. CONTRACTOR TO PLACE BLACK POLY EDGING BETWEEN ALL TURF AREAS AND PLANTER BEDS UNLESS OTHERWISE NOTED. EDGING SHALL END PERPENDICULARLY TO WALLS AND PAVING AND SHALL BE INSTALLED WITH TOP FLUSH WITH PAVING.

IRRIGATION NOTES:

1. A CONTRACTOR-DESIGNED AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED AND MAINTAINED WITHIN ALL PROPOSED PLANTER AND TURF AREAS, UNLESS OTHERWISE SPECIFIED ON PLANS;
   - 1.1. IRRIGATION CONTRACTOR TO PROVIDE OWNER WITH TO-SCALE, AS-BUILT DRAWINGS OF THE IRRIGATION SYSTEM PRIOR TO PROJECT CLOSE-OUT;
   - 1.2. GENERAL CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO PROVIDE IRRIGATION SLEEVES UNDER PROPOSED HARDSCAPES AS NEEDED: IRRIGATION WATER LINES AND CONTROLLER WIRES TO BE SLEEVED SEPARATELY IN SCHEDULE 40 PVC PIPE. SLEEVE PIPE TO BE SIZED A MINIMUM OF 50% GREATER DIAMETER THAN THE SUM TOTAL DIAMETER OF THE CONTENTS DESIGNED AND TO EXTEND AT LEAST 18" BEYOND THE FEATURES THEY CROSS. INSTALL SLEEVES 12-18" BELOW EXCAVATION FOR HARDSCAPES TO BE INSTALLED. INSTALL LOCATE WIRE OVER SLEEVES AND CAP SLEEVE ENDS WITH DUCT TAPE TO PREVENT DEBRIS FROM PLUGGING THE ENDS. MARK SLEEVE LOCATIONS WITH SURVEY LATH, PAINTED FLORESCENT ORANGE AND LABELED WITH SIZE AND QTY INFORMATION.
   - 1.3. GENERAL CONTRACTOR TO COORDINATE WITH IRRIGATION CONTRACTOR TO PROVIDE 4" SCH. 40 PVC IRRIGATION SLEEVES ALL SLEEVES SHALL EXTEND A MIN. OF 18" BEYOND THE FEATURES THEY CROSS & SHALL BE CAPPED WITH DUCT TAPE TO PREVENT DEBRIS FROM PLUGGING THE ENDS. MARK SLEEVE LOCATIONS WITH SURVEY LATH, PAINTED FLORESCENT ORANGE AND LABELED WITH SIZE AND QTY INFORMATION;
   - 1.4. GENERAL CONTRACTOR TO PROVIDE 110-VOLT ELECTRICAL SERVICE FROM ELECTRICAL SOURCE TO IRRIGATION CONTROLLER. IRRIGATION CONTRACTOR TO MOUNT OUTDOOR CONTROLLER PER PLAN AND COORDINATE INSTALLATION WITH GENERAL CONTRACTOR;
   - 1.5. GENERAL CONTRACTOR TO PROVIDE A STANDARD THREADED STUB WITH THREADED CAP IMMEDIATELY DOWNSTREAM OF IRRIGATION WATER SOURCE/METER;
   - 1.6. PLANTER AND TURF AREAS TO BE ON SEPARATE IRRIGATION ZONES. INSTALL DRIP IRRIGATION IN PLANTER AREAS - 1GPH PER SHRUB AND 2GPH PER TREE. INSTALL ABOVE-GROUND, AUTOMATIC IRRIGATION TO PROVIDE 100% HEAD-TO-HEAD COVERAGE IN ALL TURF AREAS.

PLANTING NOTES:

1. ALL PLANT MATERIAL QUANTITIES SHALL BE VERIFIED PRIOR TO INSTALLATION. QUANTITIES LISTED IN SCHEDULES ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE NUMBER OF PLANTS SHOWN ON LANDSCAPE PLANS SHALL HAVE PRIORITY OVER THE NUMBER LISTED IN THE SCHEDULE.
2. ALL CONTAINER OR FIELD GROWN TREES, SHRUBS, VINES AND FLATTED GROUNDCOVERS SHALL BE PURCHASED BY THE CONTRACTOR. ALL SEEDED AND SOD TURF (INCLUDING HYDROMULCHES) SHALL BE PURCHASED BY THE CONTRACTOR, PAYING FOR THE PLANTING OF ALL PLANT MATERIALS; THE SPECIFIED GUARANTEE OF ALL PLANT MATERIALS; THE STAKING AND GUYING OF TREES AND THE CONTINUOUS PROTECTION OF ALL PLANT MATERIALS UPON THEIR ARRIVAL AT THE SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. GROUNDCOVER PLANTING UNDER TREES AND SHRUBS SHALL BE CONTINUOUS AS SHOWN ON PLANS.
4. ALL SPECIMEN TREES SHALL BE POSITIONED BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
5. VINE RUNNERS TO BE INSTALLED WITH THE NURSERY STAKES REMOVED AND VINE RUNNERS ESPALIERED TO THE ADJACENT WALL OR FENCE.
6. ALL INSTALLED PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMAN'S NATIONAL STANDARD SPECIFICATIONS.
7. ALL MATERIALS (PLANT MATERIALS, SOD, SEED, LANDSCAPE MULCHES, EDGING, ETC.) ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
8. ALL PLANT MATERIAL INSTALLED BY CONTRACTOR SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD AND/OR DYING PLANT MATERIAL (EXCEPT THOSE DUE TO VANDALISM OR NEGLECT) WITH PLANT MATERIAL EQUAL TO THE INSTALLED MATERIAL. GUARANTEE TO BE WRITTEN, DATED AND SIGNED BY CONTRACTOR ON CONTRACTOR'S LETTERHEAD.
9. CONTRACTOR TO INSTALL SOD IN ALL TURF AREAS UNLESS OTHERWISE NOTED.
10. CONTRACTOR TO PNEUMATICALLY APPLY (HYDROSEED) DRYLAND GRASS AREAS BETWEEN SEPTEMBER 15TH AND OCTOBER 1ST, OR MARCH 1ST AND APRIL 1ST . HYDROSEED IN AREAS DISTURBED BY CONSTRUCTION ACTIVITIES.
11. CONTRACTOR TO PLACE TWO APPLICATIONS OF PRE-EMERGENT HERBICIDE (ABOVE AND BELOW) TOP DRESSING (MULCH) IN PLANTER BEDS; PRE-EMERGENT TO CONSIST OF +/-2% ACTIVE INGREDIENT (A-α-A TRIFLORD-2, 6-DINTRO-N, N-DIPROPYL-Φ-TOLUIDINE) & +/-98% INACTIVE INGREDIENT. "GREEN GOLD" BY LEBANON CHEMICAL OR APPROVED EQUAL. DO NOT APPLY PRE-EMERGENT TO BEDS/SOILS WHERE STREET TREES EXIST OR WILL BE PLANTED.
12. CONTRACTOR TO INSTALL UV-RESISTANT POLYETHYLENE LANDSCAPE EDGING BETWEEN ALL TURF AND PLANTING BEDS UNLESS OTHERWISE NOTED. "DANDY DIAMOND BY VALLEY VIEW, OR APPROVED EQUAL. EDGING SHALL END PERPENDICULARLY TO WALLS AND PAVING AND SHALL BE INSTALLED WITH TOP FLUSH WITH PAVING.
13. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.



NOTES:

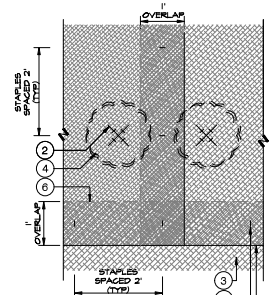
EDGING: DIG A 4.5" DEEP TRENCH ALONG THE LAWN EDGE. PLACE EDGING IN TRENCH AND SECURE WITH STAKES AS INDICATED. USE THE PROVIDED KNURLED CONNECTOR WHEN JOINING TWO LENGTHS OF EDGING TOGETHER.

STAKE: DRIVE STAKE THROUGH THE EDGING FIN EVERY 5 FEET AT A 45 DEGREE ANGLE. DO NOT INSTALL THE STAKE HIGHER THAN 2" ABOVE THE EDGING LIP. DRIVE THE STAKE ALL THE WAY THROUGH THE EDGING UNTIL THE TOP OF THE STAKE IS FLUSH WITH THE FIN. ADDITIONAL STAKES ARE NEEDED FOR TIGHT CURVES AND AT THE ENDS OF THE EDGING.

1. SOIL GRADE TO BE 1/2" BELOW TOP OF EDGING PRIOR TO LAYING SOD.
2. SOIL GRADE TO BE 1" BELOW TOP OF EDGING PRIOR TO PLANTING
3. PLASTIC DIVIDER: 'BLACK DIAMOND' EDGING BY VALLEY VIEW SPECIALTIES CO. USE 20' LENGTHS. USE KNURLED CONNECTOR , TEE, VEE OR WIDE ANGLE CONNECTORS AT ANGLE CHANGES
4. 10" X 7/8" METAL ANCHOR STAKES AT 48" O.C.O AND AT EACH END
5. DRIVE STAKE THROUGHFIN AT A 45 DEG. ANGLE
6. 1" DIA. BEAD
7. EDGING SIDEWALL - .075 THICK

1 POLY EDGING DETAIL

NTS P-SE-EDG-02



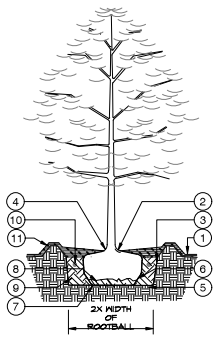
1. ANCHOR BARRIER TO SOIL USING 6" LONG 9-11 GA. STEEL LANDSCAPE STAPLES - SPACE STAPLES 2' OC ALONG JOINT OVERLAPS AND EVERY 4' IN ALL OTHER AREAS.
2. USING A RAZOR KNIFE, CUT AN 'X' IN THE FABRIC TO ACCOMODATE REMOVAL OF SOIL AND PLANT INSTALLATION. SECURE CUTS IN FABRIC WITH STAPLES AFTER INSTALLING PLANT.
3. WEED BARRIER FABRIC: SEE NOTES ON PLAN FOR SPECIFICATIONS ON FABRIC WEIGHT AND TYPE
4. PLANT OUTLINE (FOR ILLUSTRATIVE PUPROSES ONLY)
5. FABRIC EDGE (TOP)
6. FABRIC (BELOW)

NOTES:

1. INSTALL MULCH OVER WEED BARRIER (SEE PLANS AND SPECS FOR TYPE AND DEPTH)
2. COORDINATE FABRIC INSTALLATION WITH PRE-EMERGENT APPLICATION. SEE PLANS FOR MORE INFORMATION

2 WEED BARRIER INSTALLATION

P-SE-PLA-18

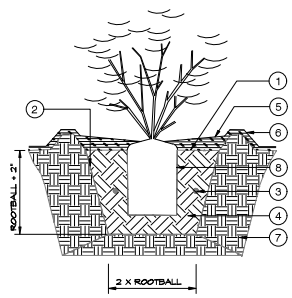


NOTE: MULCH PER PLANS. IF MULCH DEPTH IS GREATER THAN 2", GRADUALLY FEATHER FROM SPECIFIED DEPTH TO 2" MAX. AT TREE ROOTBALL BASE TO PREVENT BURIED OR SUPER-ELEVATED PLANT INSTALLATION.

1. FINISH GRADE
2. INSPECT THE ROOT FLARE OF EACH TREE PRIOR TO PLANTING. TREES WITHOUT A VISIBLE ROOT FLARE WILL BE REJECTED
3. SCARIFY SIDES OF PLANT PIT PRIOR TO PLANTING
4. PLACE ROOT FLARE 1" ABOVE FINISH GRADE. DO NOT COVER ROOT FLARE WITH MULCH OR SOIL
5. UNDISTURBED SOIL
6. ROOTBALL
7. PLACE ROOTBALL ON UNDISTURBED SOIL TO PREVENT SETTLING
8. REMOVE WIRE AND BURLAPTO BOTTOM OF ROOTBALL AFTER SETTING IN PIT
9. BACKFILL SOIL MIX IN LIFTS (MAX. 9"). WATER TO SETTLE SOIL AND TAMP AROUND ROOTBALL LIGHTLY BETWEEN LIFTS WITH FOOT PRESSURE TO REMOVE AIR POCKETS AND PREVENT SHIFTING. ENSURE THAT PLANT POSITION IS PLUMB.
10. PLACE FERTILIZER TABLETS AT 3" BELOW FINISH GRADE AND ADJACENT TO ROOTBALL. FERTILIZER TO BE AGRIFORM (21 GRAM 20-10-5) OR EQ. USE 4 TABLETS PER 15 GAL TREE OR 1 PER 4" OF ROOTBALL DIAMETER.
11. CONSTRUCT EARTHEN SAUCER 2-1/2 TIMES THE ROOTBALL WIDTH AND NO MORE THAN 3" IN HEIGHT. TAPER MULCH DEPTH AT EARTHEN SAUCER.

3 DECIDUOUS TREE PLANTING

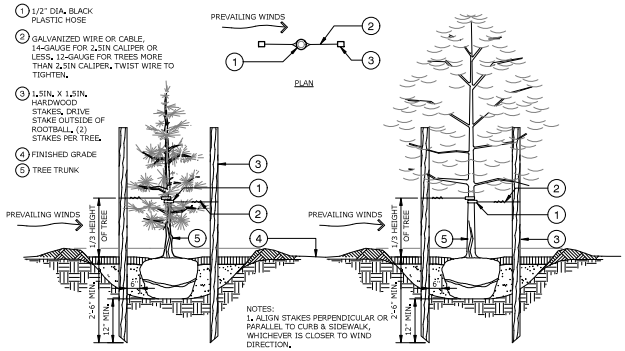
NTS P-SE-PLA-05



1. FINISHED GRADE
2. SCARIFY SIDES OF PLANT PIT PRIOR TO PLANTING
3. PLACE FERTILIZER TABLETS AT 1/2 ROOTBALL DEPTH
4. BACKFILL SOIL MIX IN MAX. 9" LIFTS. WATER TO SETTLE SOIL AND TAMP LIGHTLY AROUND ROOTBALL BETWEEN LIFTS TO REMOVE AIR POCKETS. ENSURE THAT PLANT POSITION IS PLUMB.
5. MULCH PER PLANS. IF MULCH DEPTH IS GREATER THAN 2", GRADUALLY FEATHER FROM SPECIFIED DEPTH TO 2" MAX. AT SHRUB ROOTBALL BASE TO PREVENT BURIED OR SUPER-ELEVATED PLANT INSTALLATION.
6. CONSTRUCT EARTHEN SAUCER 2-1/2 TIMES THE ROOTBALL WIDTH AND NO MORE THAN 3" IN HEIGHT. TAPER MULCH DEPTH AT EARTHEN SAUCER.
7. UNDISTURBED SOIL
8. ROOTBALL

4 SHRUB PLANTING DETAIL

1" = 1" P-SE-PLA-20



NOTES:
1. ALIGN STAKES PERPENDICULAR OR PARALLEL TO CURB & SIDEWALK, WHICHEVER IS CLOSER TO WIND DIRECTION.
2. SEE PLANTING NOTES & SPECIFICATIONS (IF PROVIDED) FOR MORE INFORMATION

5 TREE STAKING

1" = 1'-0" P-SE-PLA-19

1. SEED SHALL BE DELIVERED IN ORIGINAL, UNOPENED CONTAINERS SHOWING WEIGHT, CERTIFIED ANALYSIS, NAME AND ADDRESS OF MANUFACTURER, AND INDICATION OF CONFORMANCE WITH STATE AND FEDERAL LAWS, AS APPLICABLE.
2. CONTRACTOR TO BRING TO THE JOB SITE THE PACKING LIST FROM THE SEED SUPPLIER LISTING ALL THE SEED DELIVERED TO THE JOB SITE.
3. PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE OF PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES AND PERCENTAGES AS SPECIFIED BY SEED MANUFACTURER OR SUPPLIER.
4. PROVIDE MIXTURE COMPOSED OF GRASS AND FERTILIZER AS FOLLOWS:
   - 4.1. TURF MIX: "IDEAL TURF" FROM PLANTS OF THE WILD OR APPROVED EQUAL
     DRYLAND MIX: "INLAND NORTHWEST NATIVE MIX" FROM PLANTS OF THE WILD OR APPROVED EQUAL.
5. FERTILIZER: PER SPECIFICATIONS
6. COORDINATE WITH CIVIL PLANS FOR STABILIZATION OF SLOPES TO RECEIVE HYDROSEED.
7. SEED SUPPLIER: PLANTS OF THE WILD, TEKOA WA 509-284-2848

6 HYDROSEED NOTES

NTS P-SE-TUR-10

LOCATES (2 WORKING DAYS NOTICE REQUIRED PRIOR TO EXCAVATION)
LOCAL CALLING NUMBERS
SPOKANE COUNTY
8-1-1

storhaug
civil engineering | planning
landscape architecture | surveying
510 east third avenue | spokane, washington 99202
p 509.242.1000 f 509.242.1001

TREK ARCHITECTURE

THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK. IF CONFLICTS ARISE BETWEEN OR AMONG SITE PLANS, SITE WORK PLANS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, PLANTS AND LANDSCAPE PLANS SHOWN, DRAWINGS ARE NOT TO BE SCALED.

DRAWING SCALES ARE INDICATED HERE FOR REFERENCE ONLY AND ARE NOT INTENDED TO ASSURE TRUE DEPICTATION OF ACTUAL OR DESIGNED CONDITIONS. VERIFY ON DRAWING SHALL DO VERY.

PROJECT
TREK ARCHITECTURE
122 S MONROE, STE #202
SPOKANE, WA 99201
509.315.4530
HELLO@TREKARCH.COM

OWNER
JADWIN PROJECT LLC
915 W 2ND AVE.
SPOKANE, WA. 99201

PROFESSIONAL SEAL

NEW COMMERCIAL APPLICATION FOR
JADWIN MULTI-FAMILY

ADDRESS
1866 JADWIN AVE.
RICHLAND, WA 99354

JOB
22.20

DRAWN BY
LRB

REVIEWED BY
AJS

SCALE
As Indicated

DATE
08.15.22

PROJECT STATUS
SITE PLAN REVIEW

REVISIONS

#	DESCRIPTION	DATE

DETAILS AND NOTES

L400

Exhibit 4

SEPA Checklist and DNS

SEPA ENVIRONMENTAL CHECKLIST

Purpose of checklist:

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background [HELP]

1. Name of proposed project, if applicable: Jadwin Multi Family Development

2. Name of applicant: Storhaug Engineering

3. Address and phone number of applicant and contact person: Clifton Trimble
510 E third Ave. Spokane, WA. 99202

4. Date checklist prepared: June 9th, 2022

5. Agency requesting checklist: City of Richland Development Services

6. Proposed timing or schedule (including phasing, if applicable): Fall 2022; possibly spring 2023

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. None at this time

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. None known

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. None known

10. List any government approvals or permits that will be needed for your proposal, if known.
SEPA determination, building permits

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.) 3-story apartment building(s) totaling 114 units on 3.95 acres in the CLB, Commercial Limited Business zone, in Richland, WA.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist. Jadwin Ave multi-family project on Parcel No. 102982020745003, at 1866 Jadwin Ave in Richland, WA.,

LEGAL DESCRIPTION:
SECTION 2, TOWNSHIP 9 NORTH, RANGE 28, QUARTER NW: THE NORTHERLY 530.46 FEET OF BLOCK 745, PLAT OF RICHLAND, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 6 AND 7 OF PLATS, SITUATED IN THE CITY OF RICHLAND, COUNTY OF BENTON, STATE OF WASHINGTON, SWD

B. Environmental Elements [HELP]

1. *Earth* [help]

a. General description of the site:

(circle one): Flat, rolling, hilly, steep slopes, mountainous, other

b. What is the steepest slope on the site (approximate percent slope)?
Less than 2%

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils. Finley fine sandy loam, 0 to 2 percent slopes 88%
Pasco fine sandy loam, 0 to 2 percent slopes 12%

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. None known

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill. The site is flat, and minimal grading will be required as a result. Any future grading will conform to all applicable permitting through the City

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.
No, the site is flat, and best management practices for Stormwater and Erosion control will be used with the cooperation of the City Building and Planning Department.

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? Approximately 75%

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:
None contemplated at this time. A stormwater and erosion control plan will be implemented by the contractor

2. Air [help]

a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known. General, non toxic or hazardous emission during general construction.

b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. No

c. Proposed measures to reduce or control emissions or other impacts to air, if any:
None contemplated at this time. A storm-water and erosion control plan will be implemented by the contractor; all applicable City STDS will be met during construction via the land development code

3. Water [help]

a. Surface Water: [help]

1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

No. N/A.

2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

No. N/A.

3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

No. N/A.

4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No. N/A.

5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground Water: [help]

1) Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well. Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No

2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

The 114 apartment units will be served City Sewer. Existing private sewer lines may need to be re-located, and a water main extension may be needed. All applicable pressure and bacteria testing, if required, will be done in accordance with all agency regulations.

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

Stormwater will be retained on site via grassy swales and dry wells, to City STDS.

2) Could waste materials enter ground or surface waters? If so, generally describe.

Not anticipated. No hazardous chemicals will be stored on site and effluent discharge will be mitigated via City Sewer.

3) Does the proposal alter or otherwise affect drainage patterns in the vicinity of the site? If so, describe.

No, the site is flat and on-site stormwater management will be addressed.

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts, if any:

Dry wells, grassy swales, and other approved on-site storm-water management practices deemed appropriate by the contractor.

4. Plants [help]

a. Check the types of vegetation found on the site:

____deciduous tree: alder, maple, aspen, other
____evergreen tree: fir, cedar, pine, other
_x_shrubs
____grass
____pasture
____crop or grain
____ Orchards, vineyards or other permanent crops.
____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other
____water plants: water lily, eelgrass, milfoil, other
____other types of vegetation

b. What kind and amount of vegetation will be removed or altered?
Shrubs. Site is mostly dirt and shrubs. A few (2 - 4) trees exist on site and will be removed. Is flat and relatively clear.

c. List threatened and endangered species known to be on or near the site.
None found. A Priority Habitats and Species Report is attached to this document.

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:
A landscaping plan with identified native species will be included with a site plan for this proposal meeting the landscape section of the City of Richland Land Dev Code

e. List all noxious weeds and invasive species known to be on or near the site.
None known.

5. Animals [help]

a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

birds: hawk, heron, eagle, songbirds, other:
mammals: deer, bear, elk, beaver, other:
fish: bass, salmon, trout, herring, shellfish, other _____

b. List any threatened and endangered species known to be on or near the site.
None found... A Priority Habitats and Species Report is attached to this document.

c. Is the site part of a migration route? If so, explain.
Not to be known

d. Proposed measures to preserve or enhance wildlife, if any:
Exploration through this exercise, research on fish and wildlife, as well as development cooperation with the City Dept of Building and Planning.

e. List any invasive animal species known to be on or near the site.
None known

6. *Energy and Natural Resources* [help]

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

Natural gas and electricity will be used for general building applications.

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

Not to be anticipated

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:
All new construction will conform to the City of Richland energy conservation code and with WA State energy codes.

7. *Environmental Health* [help]

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe.

1) Describe any known or possible contamination at the site from present or past uses.

None known

2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.
All applicable State and Federal regulations will be followed. However, no hazardous chemicals are proposed to be used or stored on site

3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

N/A

4) Describe special emergency services that might be required.

Will be typical to Multi Family uses.

5) Proposed measures to reduce or control environmental health hazards, if any:
All applicable State and Federal regulations will be followed in order to reduce health hazards.

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

Typical traffic along residential streets, as well as due to the auto shop and school along Jadwin Ave

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site.

Noise typical of multi family construction in a single phased project

3) Proposed measures to reduce or control noise impacts, if any:
Construction permitted during business/daylight hours, as well as others imposed on or suggested by the the City Permitting Dept

8. Land and Shoreline Use [help]

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

Residential uses to the north and east, commercial uses to the north, and a school to the west of the site. The immediate area is zoned mostly residential.

b. Has the project site been used as working farmlands or working forest lands? If so, describe.

How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

Not to be known

1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? If so, how:

No

c. Describe any structures on the site.

Site is vacant with one existing shed

d. Will any structures be demolished? If so, what?

Yes, one shed near McMurray St

e. What is the current zoning classification of the site?

ZONE:C-LB (COMMERCIAL - LIMITED BUSINESS) LOT SIZE: 3.95 ACRES (212,572.8 SF)

f. What is the current comprehensive plan designation of the site?

Commercial

g. If applicable, what is the current shoreline master program designation of the site?

N/A

h. Has any part of the site been classified as a critical area by the city or county? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

Approximately 114 residents, if not more

j. Approximately how many people would the completed project displace?

None

k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

L. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:
Coordination with the Richland Planning and Development Dept, as well as consulting the LDC and Comp Plan

m. Proposed measures to reduce or control impacts to agricultural and forest lands of long-term commercial significance, if any:

N/A

9. Housing [help]

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

114 units; middle to low income

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None to be eliminated

c. Proposed measures to reduce or control housing impacts, if any:

None proposed at this time.

10. Aesthetics [help]

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed?

40' (55' max per zoning)

b. What views in the immediate vicinity would be altered or obstructed?

None known

b. Proposed measures to reduce or control aesthetic impacts, if any:

Compliance with zoning per form and bulk, height restrictions

11. Light and Glare [help]

a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

Typical for an apartment development.

b. Could light or glare from the finished project be a safety hazard or interfere with views?

Not anticipated

c. What existing off-site sources of light or glare may affect your proposal?

None known

d. Proposed measures to reduce or control light and glare impacts, if any:

None at this time. However, Any and all requirements by the County Building Dept will be addressed and permitted appropriately.

12. Recreation [help]

a. What designated and informal recreational opportunities are in the immediate vicinity?

There are baseball fields and a running tack immediately west of the site

b. Would the proposed project displace any existing recreational uses? If so, describe.

No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:

None necessary or anticipated at this time

13. Historic and cultural preservation [help]

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers ? If so, specifically describe.

None known

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

None known

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

None known

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

All required permits will be obtained through the City Building and Planning Dept

14. Transportation [help]

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Closest HWYS are approx 1/2 mi away; HWY 240.

b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

Yes, there is a bus stip immediately adjacent to the subject parcel, on Jadwin Ave

c. How many additional parking spaces would the completed project or non-project proposal have? How many would the project or proposal eliminate?

184 parking spaces will be provided at final build out.

d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).
Unknown at this time. A trip generation letter is included in this process, and will dictate the necessity of a TIS and any subsequent improvements

e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.
No

f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and nonpassenger vehicles). What data or transportation models were used to make these estimates?

The Jadwin Ave multi-family project was calculated from traffic studies compiled by the Institute of Transportation Engineers, "Trip Generation", 11th Edition, 2022.

Trip Generation summary for overall proposed project:
ADT Total: 769
A.M. Peak Total: 46; 11 trips enter, 35 trips exit
P.M. Peak Total: 59; 37 trips enter, 22 trips exit

g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.
Not anticipated

h. Proposed measures to reduce or control transportation impacts, if any:

Compliance with the Trip Generation results as indicated from the Dept of public works Traffic Dept

15. Public Services [help]

a. Would the project result in an increased need for public services (for example: fire protection, police protection, public transit, health care, schools, other)? If so, generally describe.

Impacts will most likely not affect services needed. But, if found to be significant, they will be reviewed and addressed by the City of Richland Building Dept at the time of permitting.

b. Proposed measures to reduce or control direct impacts on public services, if any.

Unknown at this time. Measures will be proposed according to all impacts, to be reviewed the by the City of Richland Building Dept.

16. Utilities [help]

a. Circle utilities currently available at the site:
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other _____

All services lie within the City and are available to the site.

c. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

City water and sewer are available to the site. Existing private sewer lines may need to be re-located, and a water main extension may be needed.

C. Signature [HELP]

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: Clifton Trimble

Name of signee Clifton Trimble

Position and Agency/Organization Sr Planner, Storhaug Engineering

Date Submitted: _____

D. Supplemental sheet for nonproject actions [HELP]

(**IT IS NOT NECESSARY** to use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; production, storage, or release of toxic or hazardous substances; or production of noise?

Proposed measures to avoid or reduce such increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks,

wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

FEMA Digital Flood Map Products

- **FIRM Panel Image:** Flood Insurance Rate Maps (FIRM) are digital images of flood hazard maps. The images are digital pictures of entire flood map panels that can be viewed and printed from a computer. Most communities and counties have many map panels to cover the entire jurisdiction and an index map that shows the location of each map panel.

- **FIRM Worldfile:** A TFW or PGW file may accompany your flood hazard map. They are used to help view the flood maps in GIS applications.

FIRM Panel Images are TIF or PNG image files and have file names with a Community or County ID followed by a 4-digital panel number and letter suffix representing a version (e.g. 12345C0123F.tif). The FIRM worldfiles will have the same filenames but with a .tfw or .pgw extension.

FIRM Panel Images can be viewed using most freely available image viewer applications. You can also use the FIRMette-Desktop software available from the FEMA Flood Map Service Center (MSC) website at msc.fema.gov/portal/resources/firmettes. FIRM images can also be viewed in specialized GIS software where the worldfiles are used to make the images compatiable with other GIS data. See the MSC Products and Tools Overview page for more information on avialable data and tools for using FEMA's flood risk data.

For more information on available digital products, visit FEMA's Map Service Center website at https://msc.fema.gov or call the FEMA Map Information eXchange (FMIX) at 877-336-2627.

RiskMAP
Increasing Resilience Together

JOINS PANEL 0005

JOINS PANEL 0015

ELEVATION REFERENCE MARKS

REFERENCE MARK	ELEVATION (FT. NGVD)	DESCRIPTION OF LOCATION
RM4*	416.75	Top of concrete monument 185 feet west of Columbia River irrigation district canal and as shown on McNary Res. maps. Established by the U.S. Army Corps of Engineers.
RM5*	393.16	Top of northwestern corner of curb tail on southern "Twin Bridges". Established by the U.S. Atomic Energy Commission.
RM6	465.65	Top of rock, west side of access road along edge of ridge where road makes sharp bend approximately 1760 feet southeast of corner common to sections 19, 20, 29, and 30, Township 10 north Range 28 east, "X" painted on rock. Established by Howard, Needles, Tammen, and Bergendoff.

*OUTSIDE CORPORATE LIMITS

KEY TO MAP

500-Year Flood Boundary	ZONE B
100-Year Flood Boundary	ZONE A1 DATE
Zone Designations* With Date of Identification e.g., 12/2/74	ZONE A5 DATE
100-Year Flood Boundary	ZONE B
500-Year Flood Boundary	
Base Flood Elevation Line With Elevation In Feet**	513
Base Flood Elevation in Feet Where Uniform Within Zone**	(EL 987)
Elevation Reference Mark	RM7 ×
Zone D Boundary	
River Mile	• M1.5

**Referenced to the National Geodetic Vertical Datum of 1929

*EXPLANATION OF ZONE DESIGNATIONS

ZONE	EXPLANATION
A	Areas of 100-year flood; base flood elevations and flood hazard factors not determined.
A0	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; average depths of inundation are shown, but no flood hazard factors are determined.
AH	Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevations are shown, but no flood hazard factors are determined.
A1-A30	Areas of 100-year flood; base flood elevations and flood hazard factors determined.
A99	Areas of 100-year flood to be protected by flood protection system under construction; base flood elevations and flood hazard factors not determined.
B	Areas between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood. (Medium shading)
C	Areas of minimal flooding. (No shading)
D	Areas of undetermined, but possible, flood hazards.
V	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors not determined.
V1-V30	Areas of 100-year coastal flood with velocity (wave action); base flood elevations and flood hazard factors determined.

NOTES TO USER

Certain areas not in the special flood hazard areas (zones A and V) may be protected by flood control structures.

This map is for flood insurance purposes only; it does not necessarily show all areas subject to flooding in the community or all planimetric features outside special flood hazard areas.

For adjoining map panels, see separately printed Index To Map Panels.

INITIAL IDENTIFICATION:
MARCH 30, 1970

FLOOD HAZARD BOUNDARY MAP REVISIONS:

FLOOD INSURANCE RATE MAP EFFECTIVE:
MARCH 30, 1970

FLOOD INSURANCE RATE MAP REVISIONS:
Map revised May 28, 1971, to add special flood hazard areas.

Map revised July 2, 1971, to clarify insurance eligibility dates.

Map revised July 1, 1974, to change zone designations.

Map revised November 14, 1975, to reflect curvilinear flood boundary and to add special flood hazard areas.

Map revised June 18, 1980, to change zone designations, flood boundaries and base flood elevations.

Map revised March 1, 1984, to change flood boundaries and corporate limits, and to add special flood hazard areas.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6620.

APPROXIMATE SCALE
1000 0 1000 FEET

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

CITY OF
RICHLAND, WASHINGTON
BENTON COUNTY

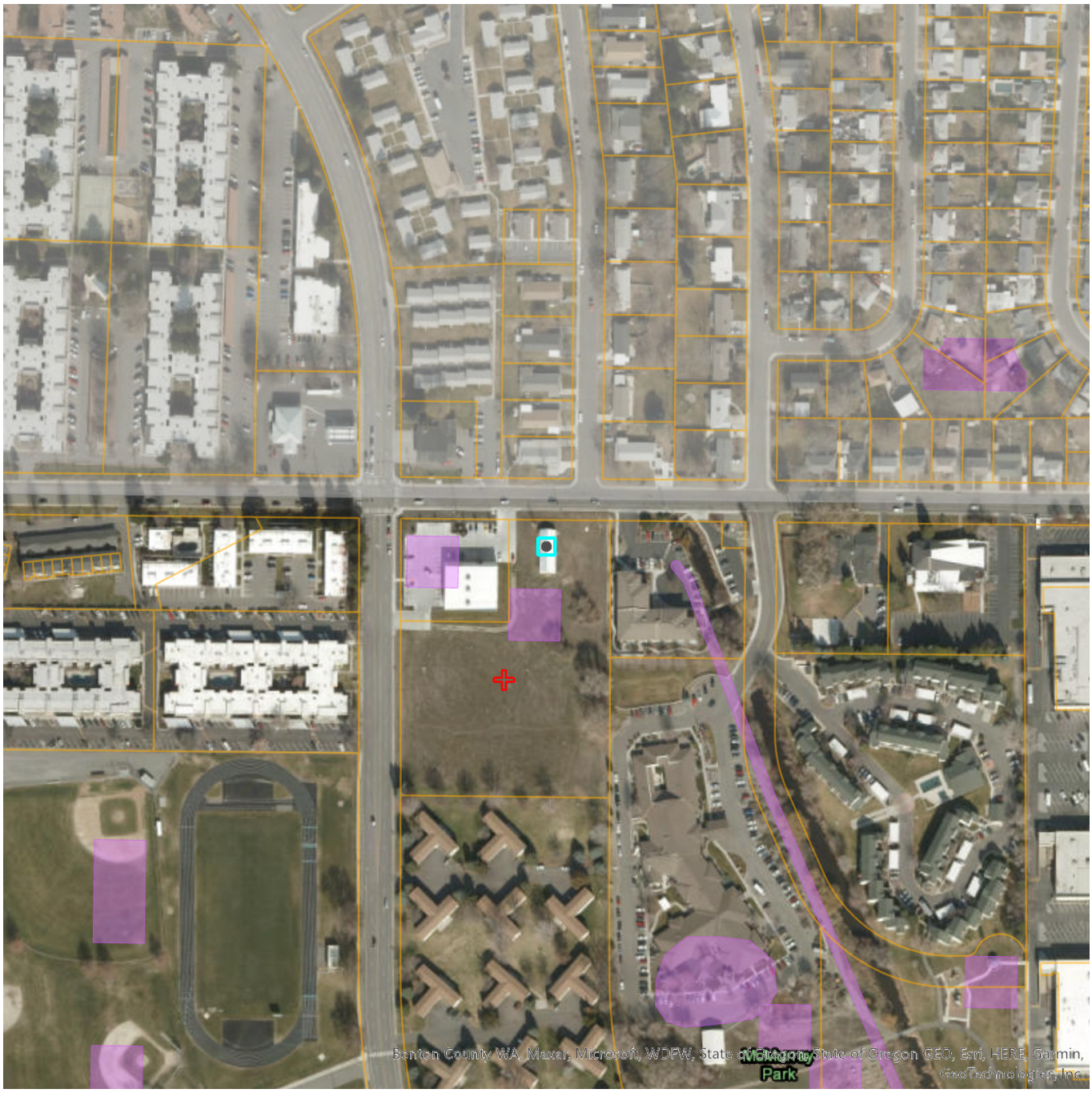
PANEL 10 OF 15
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COMMUNITY-PANEL NUMBER
535533 0010 E

MAP REVISED:
MARCH 1, 1984

Federal Emergency Management Agency

Priority Habitats and Species on the Web



Report Date: 06/10/2022

The Priority Habitats and Species (PHS) datasets do not contain information for your project area. This does not mean that species and habitats do not occur in your project area. PHS data, points, lines and polygons are mapped only when occurrences of these species or habitats have been observed in the field. Unfortunately, we have not been able to comprehensively survey all sections in the state and therefore, it is important to note that priority species and habitats may occur in areas not currently known to the Department.

File No. EA2022-119

CITY OF RICHLAND
Determination of Non-Significance

Description of Proposal: Site preparation and subsequent construction of five (5) 3-story apartment buildings along with a clubhouse, pool and hot tub, associated off-street parking, landscaping and utility installation.

Proponent: Storhaug Engineering
Attn: Clifton Trimble
510 E Third Ave.
Spokane, WA 99202

Location of Proposal: The project site is located at 1866 Jadwin Ave., Richland, WA.

Lead Agency: City of Richland

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request.

( ) There is no comment for the DNS.

(**X**) This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for fourteen days from the date of issuance.

( ) This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

Responsible Official: Mike Stevens
Position/Title: Planning Manager
Address: 625 Swift Blvd., MS #35, Richland, WA 99352
Date: July 1, 2022

Signature_____

Exhibit 5

Public Notice and Affidavits

AFFIDAVIT OF POSTING

STATE OF WASHINGTON)
) ss.
COUNTY OF BENTON)

COMES NOW, **Matthew Howie**, who, being first duly sworn upon oath deposes and says:

1. I am an employee in the Planning Division of the Development Services Department for the City of Richland.

2. On the 21st day of September, 2022, I posted the attached NOTICE OF PUBLIC HEARING, File Number S2022-101 (Site Plan review for Jadwin McMurray Apartments) in the following location:

1866 Jadwin Ave at the east side of Jadwin facing south and the south side of McMurray facing west

Signed: Matthew Howie

SIGNED AND SWORN to before me this 21st day of September, 2022, by Matthew Howie.

JENNIFER SCHUSTER
COMMISSION EXPIRES
NOTARY
207956
PUBLIC
4-25-23
STATE OF WASHINGTON

Signature of Notary

Jennifer Schuster
Printed Name

Notary Public in and for the State of Washington,
Residing in 625 Swift Blvd, Richland
My appointment expires: 4-25-23

JENNIFER SCHUSTER
NOTARY
PUBLIC
STATE OF WASHINGTON
COMMISSION EXPIRES
4-25-23
207955

AFFIDAVIT OF MAILING

STATE OF WASHINGTON)
) ss.
COUNTY OF BENTON)

COMES NOW, Kevin Damrell, who, being first duly sworn upon oath deposes and says:

1. I am an employee in the Planning Division of the Development Services Department for the City of Richland.

2. On the 21st day of September, 2022, I mailed a copy of the attached NOTICE OF APPLICATION AND PUBLIC HEARING (M2022-101) to the attached list of individuals via regular USPS on the date indicated above. The Richland Hearing Examiner will conduct a public hearing and review of the application on Thursday, October 20, 2022.

Signed: Kevin Damrell

SIGNED AND SWORN to before me this 21st day of September, 2022 by Kevin Damrell.

JENNIFER SCHUSTER
COMMISSION EXPIRES
NOTARY
207956
PUBLIC
4-25-23
STATE OF WASHINGTON

Notary Public in and for the State of Washington,

Jennifer Schuster
Print Name
Residing at 625 SW 8th Blvd Richland
My appointment expires: 4-25-23

Address list attached.

CITY OF RICHLAND
NOTICE OF APPLICATION, PUBLIC HEARING
(M2022-101)

Notice is hereby given that Evan Verduin has submitted a Site Plan Review application for the development of an approximately 3.95-acre site, with five (5) multi-family residential buildings containing up to 114 dwelling units, a clubhouse/leasing office with associated parking and landscaped areas. The project site is located at 1866 Jadwin Avenue and is zoned C-LB (Commercial-Limited Business). The property is described as Assessor's Parcel Nos. 102982020745003 located in Section 2, Township 9 North, Range 28 Quarter N.W., Benton County, WA.

A public hearing on the proposed site plan review will be held before the Hearing Examiner on Thursday, October 20, 2022 at 6:00 PM within the City Council Chambers located at 625 Swift Blvd. All interested parties are invited to attend and present testimony at the public hearing or via Zoom by visiting the City's website: (www.ci.richland.wa.us).

Environmental Review: On July 1, 2022, the City issued a Determination of Non-Significance for the project having determined that the proposal does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). Copies of the site plan review application, the SEPA document and proposed development plans are available for review at the Richland Development Services Office located at 625 Swift Boulevard, Richland, Washington.

Any person desiring to express their views or to be notified of any decisions pertaining to this application should notify Matthew Howie, Senior Planner, 625 Swift Boulevard, MS-35, Richland, WA 99352. Comments may emailed to mhowie@ci.richland.wa.us. The deadline for written comments is 6:00 p.m., Wednesday, October 19th. However, written comments must be received no later than 5:00 p.m. on Wednesday, October 12th to be incorporated into the staff report. Comments received after that time will be entered into the record during the hearing.

Please note that pursuant to RMC 23.48.010, the purpose of the site plan approval process is to facilitate project design that is compatible with adjacent land uses and is in keeping with the physical constraints of the project site.* ***The site plan review is not intended to determine whether a particular land use activity is appropriate on a particular site**. Land uses that are otherwise permitted in this title shall not be denied through the site plan review process unless such uses cannot meet the development and/or performance standards required for the use.*

P & L LAND COMPANY LLC
2580 N 31ST ST
SPRINGFIELD, OR 97477

THREE RIVERS SENIOR HOUSING LLLP
6120 STONERIDGE MALL RD
PLEASANTON, CA 94588

RICHLAND WASHINGTON LLC
C/O TAX ESCROW DEPT
303 INTERNATIONAL CIRCLE
HUNT VALLEY, MD 21030

JADWIN STEVENS APARTMENTS LLC
1955 JADWIN AVE STE 350
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

JADWIN STEVENS APARTMENTS LLC
1955 JADWIN AVE STE 350
RICHLAND, WA 99354

GOVERNMENT
BLM
0

SHALOM UNITED CHURCH OF CHRIST
505 MCMURRAY ST
RICHLAND, WA 99354-2237

CITY OF RICHLAND
625 SWIFT BLVD. MS-09
RICHLAND , WA 99352

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

MARTIN NAOMI DEE
1872 MAHAN AVE
RICHLAND, WA 99354

STATE OF WASHINGTON
DEPT OF SOCIAL & HEALTH SERVICES
PO BOX 45130
OLYMPIA, WA 98504-5130

VBT MCMURRAY PARK LLC
1911 65TH AVE W
TACOMA, WA 98466

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

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777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

EDT2017 LLC
777 MCMURRAY ST
RICHLAND, WA 99354

SASSER LYLE BLAINE & SONJA N
1866 MAHAN AVE
RICHLAND, WA 99354

FLORES ARMANDO PENA & RUIZ ALMA CORDOBA
1860 MAHAN AVE

RICHLAND, WA 99354

OLSEN JOHN C & JENNIFER A
1842 MAHAN AVE

RICHLAND, WA 99354-2462

DUNN JOSEPH C & DUNN MICHAEL J
1831 STEVENS DR

RICHLAND , WA 99354

VALENCIA GUADALUPE
1849 STEVENS DR

RICHLAND, WA 99354

VANDYKE JR DAVID & VANDYKE ELENA
1867 STEVENS DR

RICHLAND, WA 99354

WOODALL MANDI & BENJAMIN JASON-RAY
1818 MAHAN AVE

RICHLAND , WA 99354

ICAYAN ERWIN E & AUDREY M
1800 MAHAN AVE

RICHLAND, WA 99354-2462

AHMETI RIAD
1425 STEVENS DR

RICHLAND, WA 99354-2957

BANH MY MY
1825 STEVENS DR

RICHLAND, WA 99354

BURGESS CHARLES H
1914 PIKE AVE

RICHLAND, WA 99354-2248

IBARRA ROGER Y
1854 MAHAN AVE

RICHLAND, WA 99354-2462

RICE MARK J & CARRIE M
1836 MAHAN AVE

RICHLAND, WA 99354

NGUYEN VANNIKIM
1837 STEVENS DR

RICHLAND, WA 99354

BARRETT GEORGE L & DARLENE
1855 STEVENS DR

RICHLAND, WA 99354-2505

MEHINOVIC HAMZA & SABINA
1873 STEVENS DR

RICHLAND, WA 99354

AARDAL JANIS D
1812 MAHAN AVE

RICHLAND, WA 99354

LOWE AUSTYN & CERAJANE
1002 SUNSET ST

RICHLAND, WA 99354

FERGUSON NORMAN J
243 ORCHARD WAY
RICHLAND, WA 99352-7622

FALLON PAULA J
1919 LASSEN AVE

RICHLAND, WA 99354

MCCREA PAUL S
1905 LASSEN AVE

RICHLAND, WA 99354-2233

MYERS JOHN B & ROBERTA R
1848 MAHAN

RICHLAND, WA 99354

SADRO JR JOHN & CHANDRA
PO BOX 1251

EVERETT , WA 98206

PHAM HAI Q & MARY H
1843 STEVENS DR

RICHLAND, WA 99354-2505

CALDERIN MORALES DURIEM
1861 STEVENS DR

RICHLAND, WA 99354

WOLFE JAMES
1879 STEVENS DR
RICHLAND, WA 99352-2505

EVANS JACK D & JO ANN M
1806 MAHAN AVE

RICHLAND, WA 99354-2462

PANGELINAN SHARON
1807 STEVENS DRIVE

RICHLAND, WA 99354

ROWLEY JON J & BARBARA A
1824 MAHAN AVE

RICHLAND, WA 99354-2462

STONG RAE KELLY
1917 LASSEN AVE

RICHLAND , WA 99354

SANDERS DORIS & TRAVIS
1902 LASSEN AVE

RICHLAND , WA 99354

RANGEL JOSE RUBEN & LUCIA R
2025 HARRIS AVE

RICHLAND, WA 99354-1911

MOONANDSTARS LLC
1758 BOSTON ST

RICHLAND, WA 99354-2412

PRATT BRIAN W & STACIE R
1912 LUTHER PL

RICHLAND, WA 99354-2236

BIGGS JR DANIEL CLARK
1901 PIKE AVE

RICHLAND, WA 99354-2247

ROBERTS JOHN A
704 COAST STREET

RICHLAND, WA 99354

FERRERA KYLE J & ALLEN EMILY A
514 MC MURRAY ST

RICHLAND, WA 99354

POYNOR CHRISTOPHER L
516 MCMURRAY ST

RICHLAND , WA 99354

SODERQUIST DANA
1913 LASSEN AVE

RICHLAND, WA 99354-2233

MILLER LOGAN D
1910 PIKE AVE

RICHLAND , WA 99354

RAGAIN TRUSTEES DALE W & OPAL R
218 EDGEWOOD DR
RICHLAND, WA 99352-9411

BETITA KEVIN A
1930 LUTHER PL

RICHLAND, WA 99354-2236

VISIONARIO ESAU
1918/1920 LUTHER PLACE

RICHLAND, WA 99354

KING LINDA C
1936 LUTHER PL

RICHLAND, WA 99354-2236

SCHWEIGER NATHAN
1300 GEORGE WASHINGTON WAY

RICHLAND, WA 99354

WALLER JAMES M
1915 PIKE AVE

RICHLAND, WA 99354

MCBURNEY JR PATRICK D & JULIE A
P O BOX 581

RICHLAND, WA 99352

RICKARD BARBARA J
1904 LASSEN AVE

RICHLAND , WA 99354

YOUNG RONALD L
33331 41ST AVE SW

FEDERAL WAY, WA 98023

CRAIG MCLAUGHLIN FAMILY TRUST
1900 STEVENS DR

RICHLAND, WA 99354-2165

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

SOTO ANTONIO JAMES
1900 LUTHER PL

RICHLAND, WA 99354

HALL DAVID STANLEY & KANDICE
1906 LUTHER PL

RICHLAND, WA 99352

SHOEMAKE JOY MARIE
1913 PIKE AVE

RICHLAND , WA 99354

DEAN GEORGIE D
1905 PIKE AVE

RICHLAND, WA 99354

GODFREY LINDSETH & HOLLY
1919 PIKE AVE

RICHLAND, WA 99354

WAY RANDAL L & CYNTHIA L
518 MCMURRAY ST

RICHLAND, WA 99354

IRBY TYSON B & MAYNARD AMBER I
1906 LASSEN AVE

RICHLAND, WA 99354

WATSON DAVID L & ELIZABETH E
1915 LASSEN AVE

RICHLAND, WA 99352-2233

FORTNEY BRIAN & BRANDY
1303 KENSINGTON WAY

RICHLAND, WA 99352

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

LUTHER SENIOR CENTER INC
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

CITY OF RICHLAND
625 SWIFT BLVD. MS-09

RICHLAND , WA 99352

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

SAHOTA INVESTMENTS INC
1903 JADWIN AVE

RICHLAND, WA 99354-2271

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

JADWIN PROFESSIONAL BUILDING LLC
552 N COLORADO ST STE 101

KENNEWICK, WA 99336-4700

CRAIG MCLAUGHLIN FAMILY TRUST
1900 STEVENS DR

RICHLAND, WA 99354-2165

CRAIG MCLAUGHLIN FAMILY TRUST
1900 STEVENS DR

RICHLAND, WA 99354-2165

ROUND GARY M & MYLA C
PO BOX 2375

RICHLAND, WA 99352

MAXWELL CHRISTOPHER P & HEATHER MARIE
1603 JADWIN AVE

RICHLAND, WA 99354-2581

WIESNER CALEB
1605 JADWIN AVE

RICHLAND , WA 99354

HUMANN CHRISTINA MELISSA
1607 JADWIN AVE

RICHLAND, WA 99354-2581

RALSTON JENNIFER
53010 N HILLVIEW CT NW

BENTON CITY, WA 99320

GALVAN REMIGIO C & CANDELARIA
1611 JADWIN AVE

RICHLAND, WA 99354-2581

LINDHARTSEN ELIZABETH A
1905 S 2800 W

ABERDEEN, ID 83210-1803

HETRICK TAD
407 WILSON ST

RICHLAND, WA 99354

SKILTON PAUL F & HORAN ELIZABETH R
1550 JOHNSTON AVE

RICHLAND , WA 99354

JARDINE NEIL C & KATHY A
915 WILSON ST
RICHLAND, WA 99352-2956

FLANAGAN ASPEN JO
1620 STEVENS DR

RICHLAND , WA 99352

WARE GEORGE A & BYRANT LYNNETTE A
1614 STEVENS DR

RICHLAND , WA 99354

UMBARGER CECIL JOHN & KATHRYN O
1615 GOETHALS DRIVE

RICHLAND, WA 99354

MENDELL GREGORY A & JEANETTE E
1619 GOETHALS DR

RICHLAND, WA 99354-2940

MCKELVY MICHAEL M & PATRICIA A
2305 CAMDEN ST

RICHLAND, WA 99352

MCKIERNAN KENNETH D & SARA R
607 WILSON ST

RICHLAND, WA 99354

GONZALEZ TRUSTEE NANCY J
1620 GOETHALS DR

RICHLAND, WA 99354-2941

ELIASON CURTIS L & GLENDA J
1614 GOETHALS DR

RICHLAND, WA 99354-2941

KISON JEFFREY D & DEBORAH S
1610 STEVENS DR

RICHLAND, WA 99354-2508

BRIDGES KRISTEN
1611 JUDSON AVE

RICHLAND, WA 99354-2943

ANDERSON JAMES D
1609 JUDSON AVE

RICHLAND, WA 99354

NICHOLS TINY SUE
1613 JUDSON AVE

RICHLAND, WA 99354-2943

DUNIGAN JR PAUL F & E A
1612 JUDSON AVE

RICHLAND, WA 99354-2944

VAZQUEZ CARDENAS JOSE
1541 JADWIN AVE

RICHLAND , WA 99354

HI-TECH SELF STORAGE
4765 N 1100

W RIGHAM CITY, UT 84302

MOWAN JANET L
1635 MOWRY SQ UNIT 103

RICHLAND, WA 99352

MITCHELL CARINA J
1627 MOWRY SQ # 204

RICHLAND, WA 99354-2612

EDEN MALCOLM
1623 MOWRY SQ #202

RICHLAND, WA 99354

FERNANDO LASANTHA S & MARY R
1643 MOWRY SQUARE

RICHLAND, WA 99354

WATERS KAREN
1657 MOWRY SQ # 404

RICHLAND, WA 99354-2612

YOUNG BROOKLYNN BETH
1661 MOWRY SQ
UNIT 406
RICHLAND , WA 99354

DUSTIN BRANDON D & SAMANTHA L
511 WILSON ST

RICHLAND, WA 99354

AMOROSO LINDA
1532 JOHNSTON AVE

RICHLAND, WA 99354

ACKERMAN RICHARD E
1537 JADWIN AVE

RICHLAND, WA 99354

ROBERT YOUNG DEVELOPMENT INC
5 PRESIDIO TERRACE
SAN FRANCISCO, CA 94118

ROBERTS JOSEPH A & SANDRA
1637 MOWRY SQUARE @104

RICHLAND, WA 99354

COCHENOUR WILLIAM R & MARY J
1631 MOWRY SQ # 101

RICHLAND, WA 99354-2612

BAIN JR RANDY D
1641 MOWRY SQ #301

RICHLAND, WA 99354-2612

ADKINS GARY & JEANETTE
PO BOX 652

SELAH, WA 98942

BURROWS SUSANNAH
1653 MOWRY SQUARE UNIT 402

RICHLAND , WA 99354

SADANAGA CHARLES T
1659 MOWRY SQ # 405

RICHLAND, WA 99354-2612

LONG WAYNE E & JANICE L
1610 JUDSON AVE

RICHLAND, WA 99354-2944

CRAIN DAN
1545 JADWIN AVE

RICHLAND, WA 99354-2901

SOUTHLAND CORP
13155 NOEL RD STE 100 LB73

DALLAS, TX 75240

SWIFT TAYLAN
1639 MOWRY SQ
#17
RICHLAND, WA 99354

CLARK ROBERTA J
RIVERTON RETIREMENT HOMES
1800 BELLERIVE DR APT 001
RICHLAND, WA 99352

DISNEY MARY A
1621 MOWRY SQ # 201

RICHLAND, WA 99354-2612

STRASSBURG TRUSTEE KARL D & LINDA L
1645 MOWRY SQ # 303

RICHLAND, WA 99354-2612

JESKE ROGER DEAN
315 SNYDER ST

RICHLAND, WA 99354

SCHMITS MICAH NATHAN
1651 MOWRY SQ #401

RICHLAND, WA 99352

RAINIER SOUND VIEW LLC
930 S 336TH ST
SUITE B
FEDERAL WAY, WA 98003

FIRST CREEKSIDE LLC
930 S 336TH ST
SUITE B
FEDERAL WAY, WA 98003

MEEK DEE G & SARA E
1530 JADWIN AVE

RICHLAND, WA 99354-2902

GARCIA GREGORIO M & MERCEDES
9700 W MAPLE DR

PASCO, WA 99301

SNOW PEAK 3 LLC
307 N LINCOLN ST STE A

POST FALLS, ID 83854

AICHELE CHRISTINA ANN
1613 JOHNSTON AVE

RICHLAND, WA 99354-2974

IRWIN LANETTE D
1611 JOHNSTON AVE

RICHLAND, WA 99354-2974

HAMNER KATIE L
1609 JOHNSTON AVE

RICHLAND, WA 99354-2974

COBLENTZ MARY JO
1607 JOHNSTON AVE

RICHLAND, WA 99354-2974

ARMSTRONG DENNIS A & MARIE H
1610 JOHNSTON AVE

RICHLAND, WA 99354-2942

BERRY MIGUEL & KATELYN
1612 JOHNSTON AVE

RICHLAND, WA 99354-2942

CARSON SCOTT & JENNIFER
1608 JOHNSTON AVE

RICHLAND, WA 99354

EYCHANER JOHN R & NEDRA C
P O BOX 1732

RICHLAND, WA 99352-6532

DRIVER CRYSTAL JOAN
1604 JOHNSTON AVE

RICHLAND, WA 99354-2942

REA KELLY G & STEPHANIE K
1602 JOHNSON AVE

RICHLAND , WA 99354

RICHLAND SENIOR CARE LLC
307 N LINCOLN ST STE A

POST FALLS, ID 83854

CITY OF RICHLAND
625 SWIFT BLVD. MS-09

RICHLAND , WA 99352

MORRIS KAREN R
1218 WOODBURY ST

RICHLAND , WA 99354

NISHIOKA TADAO & APRIL Y
1212 WOODBURY ST

RICHLAND, WA 99354-2852

APOSTOLIC CHRISTIAN CH OF RICH
1749 STEVENS DR

RICHLAND, WA 99354-2504

AVERY ANGIE LIZETTE
1007 SUNSET ST

RICHLAND , WA 99352

KROLL BENJAMIN L & GAIL L
2402 BOMBING RANGE RD

WEST RICHLAND, WA 99353

MCCOSKEY KATHLEEN
1002 WILSON ST

RICHLAND, WA 99354-2847

VARGAS ALBERT
PO BOX 4275

WEST RICHLAND, WA 99353

ENGLER MICHELLE K & CALEB R
1947 PINE ST

RICHLAND , WA 99354

VAN DITTO MARC A & WENDI J
3209 W 47TH AVE

KENNEWICK, WA 99337

NUNEZ VARGAS MIGUEL ANGEL
1615 STEVENS DR

RICHLAND, WA 99354

GILLUM OWEN
1613 STEVENS DR

RICHLAND, WA 99354

MUDD LOIS F
1001 WILSON ST

RICHLAND, WA 99354-2846

SUMNER ADRIANNA
1529 COLUMBIA PARK TRL
A207
RICHLAND, WA 99352

PILAV MUJO & SANELA
PO BOX 363

RICHLAND, WA 99352

CARR JENNIFER S
1007 WILSON ST

RICHLAND, WA 99354-2846

PATTANAYAK SIDDHARTHA S & TIYA R
1005 WILSON ST

RICHLAND, WA 99354-2846

FIGUEROA FRAN VELAZQUEZ
1611 STEVENS DR

RICHLAND, WA 99354

RICHLAND SCHOOL DISTRICT #400
615 SNOW AVE
RICHLAND, WA 99352-3851

LIH COLUMBIA PARK LP
1200 5TH AVE STE 825

SEATTLE , WA 98101

NATIONWIDE HEALTH PROP INC
C/O ALTUS GROUP US INC #2442
21001 N TATUM BLVD STE 1630-630
PHOENIX, AZ 73300

COCKRELL MINDY
PO BOX 1358

RICHLAND , WA 99352

JADWIN SPOKANE LLC
915 W 2ND AVE

SPOKANE, WA 99201

O'REILLY AUTO ENTERPRISES LLC
PO BOX 9167

SPRINGFIELD, MO 65801-9167

LUTHER SENIOR CENTER EAST
818 W RIVERSIDE AVE STE 300

SPOKANE, WA 99201

CITY OF RICHLAND
NOTICE OF APPLICATION, PUBLIC HEARING
(M2022-101)

Notice is hereby given that Evan Verduin has submitted a Site Plan Review application for the development of an approximately 3.95-acre site, with five (5) multi-family residential buildings containing up to 114 dwelling units, a clubhouse/leasing office with associated parking and landscaped areas. The project site is located at 1866 Jadwin Avenue and is zoned C-LB (Commercial-Limited Business). The property is described as Assessor's Parcel Nos. 102982020745003 located in Section 2, Township 9 North, Range 28 Quarter N.W., Benton County, WA.

A public hearing on the proposed site plan review will be held before the Hearing Examiner on Thursday, October 20, 2022 at 6:00 PM within the City Council Chambers located at 625 Swift Blvd. All interested parties are invited to attend and present testimony at the public hearing or via Zoom by visiting the City's website: (www.ci.richland.wa.us).

Environmental Review: On July 1, 2022, the City issued a Determination of Non-Significance for the project having determined that the proposal does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). Copies of the site plan review application, the SEPA document and proposed development plans are available for review at the Richland Development Services Office located at 625 Swift Boulevard, Richland, Washington.

Any person desiring to express their views or to be notified of any decisions pertaining to this application should notify Matthew Howie, Senior Planner, 625 Swift Boulevard, MS-35, Richland, WA 99352. Comments may emailed to mhowie@ci.richland.wa.us. The deadline for written comments is 6:00 p.m., Wednesday, October 19th. However, written comments must be received no later than 5:00 p.m. on Wednesday, October 12th to be incorporated into the staff report. Comments received after that time will be entered into the record during the hearing.

Please note that pursuant to RMC 23.48.010, the purpose of the site plan approval process is to facilitate project design that is compatible with adjacent land uses and is in keeping with the physical constraints of the project site.* ***The site plan review is not intended to determine whether a particular land use activity is appropriate on a particular site**. Land uses that are otherwise permitted in this title shall not be denied through the site plan review process unless such uses cannot meet the development and/or performance standards required for the use.*

McCLATCHY

Beaufort Gazette
Belleville News-Democrat
Bellingham Herald
Bradenton Herald
Centre Daily Times
Charlotte Observer
Columbus Ledger-Enquirer
Fresno Bee
The Herald - Rock Hill
Herald Sun - Durham
Idaho Statesman
Island Packet
Kansas City Star
Lexington Herald-Leader
Merced Sun-Star
Miami Herald
el Nuevo Herald - Miami
Modesto Bee
Raleigh News & Observer
The Olympian
Sacramento Bee
Fort Worth Star-Telegram
The State - Columbia
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The News Tribune Tacoma
The Telegraph - Macon
San Luis Obispo Tribune
Tri-City Herald
Wichita Eagle

AFFIDAVIT OF PUBLICATION

Account #	Order Number	Identification	Order PO	Amount	Cols	Depth
36823	323291	Print Legal Ad - IPL0091451		$157.95	1	64 L

Attention: Jennifer Anderson

CITY OF RICHLAND/LEGALS
625 SWIFT BLVD. MS-05
RICHLAND, WA 99352

CITY OF RICHLAND
NOTICE OF APPLICATION AND PUBLIC HEARING

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Date Published: Sunday, September 25, 2022
IPL0091451
Sep 25 2022

COUNTY OF BENTON)
SS
STATE OF WASHINGTON)

Stephanie Hatcher, being duly sworn, deposes and says, I am the Legals Clerk of The Tri-City Herald, a daily newspaper. That said newspaper is a local newspaper and has been approved as a legal newspaper by order of the superior court in the county in which it is published and it is now and has been for more than six months prior to the date of the publications hereinafter referred to, published continually as a daily newspaper in Benton County, Washington. That the attached is a true copy as it was printed in the regular and entire issue of the Tri-City Herald and not in a supplement thereof, ran 1 time(s) commencing on 09/25/2022, and ending on 09/25/2022 and that said newspaper was regularly distributed to its subscribers during all of this period.

Stephanie Hatcher
(Signature of Legals Clerk)

Sworn to and subscribed before me this 4th day of October in the year of 2022

Stefani Beard
Notary Public in and for the state of Texas, residing in Dallas County

STEFANI SCOTT BEARD
My Notary ID # 131768951
Expires October 23, 2022

Extra charge for lost or duplicate affidavits.
Legal document please do not destroy!

Please publish the following:

Type of Legal Ad:	Public Hearing Notice
Date(s) of Publication:	Wednesday, September 21, 2022
Richland's TCH Account:	450543
For Invoice Text Box on TCH Invoice (Richland MUNIS Description)	HE PHN – M2022-101
For PO Box on TCH Invoice (Richland Account No. - MUNIS)	D2586000 4401
Attention:	Jen Anderson (TF)

****

CITY OF RICHLAND
NOTICE OF APPLICATION AND PUBLIC HEARING

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Exhibit 6

Agency Comments

From:	Noah Lee
To:	Howie, Matthew
Subject:	BCAA Comment on M2022-101
Date:	Friday, September 23, 2022 8:05:21 AM
Attachments:	BCAA Comment on M2022-101.pdf

Hello, attached you will find the BCAA's comment on M2022-101

Thanks,

Noah Lee
Air Quality Specialist

Benton Clean Air Agency
526 S. Steptoe St.
Kennewick, WA 99336
509-558-8818 ext. 105
www.bentoncleanair.org

BENTON CLEAN AIR AGENCY

September 23, 2022

Re: M2022-101

Matthew Howie
Senior Planner
625 Swift Blvd., MS-35
Richland, WA 99352

Applicant/Proponent: Trek Architecture
Attn: Evan Verduin
122 S. Monroe #202
Spokane, WA 99201

Dear Mr. Stevens:

It has come to our attention that you are reviewing a proposal for the above named applicant in which a parcel or parcels will be disturbed for development. Because these activities may cause possible fugitive dust emissions, we would like to take this opportunity to provide information to ensure that the applicant takes reasonable steps to control the dust from his/her project.

The Benton Clean Air Agency (BCAA) requires the applicant submit a Proof of Contact: Soil Destabilization Notification for this project prior to any excavation/construction taking place. This will insure that the proponent has the ability and resources to control fugitive dust emissions that may be created as a result of construction activities. This will also inform them of the regulations and requirements of the BCAA. Additionally, a written dust control plan must be developed and maintained for all soil destabilization projects, and must be readily available upon request by the BCAA. Part of this plan is submitting the name of at least one person for the project so that the BCAA has a point of contact should we receive any dust complaints from the project. The Soil Destabilization Notification form can be found and submitted on our website, www.bentoncleanair.org.

Thank you for the opportunity to comment on this proposal. If you have any questions, or would like further information on this subject, please contact us at (509) 783-1304.

Sincerely,

Noah Lee

Noah Lee
Inspector

From: Justin Gerber
To: Howie, Matthew
Subject: Jadwin McMurray Apts
Date: Monday, September 26, 2022 8:38:10 AM
Attachments: image001.png
image003.png
image004.png
image005.png

Good morning,

In response to the request for comment regarding the Jadwin McMurray Apartments, Benton-Franklin Health District would be concerned about the pool that is shown on the site plan. State DOH approves pool designs but the Benton-Franklin Health District is responsible for permitting the usage of the public pool. We would encourage reaching out to us with any questions or concerns regarding the pool approval and permitting process requirements. Thank you.

Justin Gerber
Environmental Health Specialist II

Benton-Franklin Health District
7102 W. Okanogan Place,
Kennewick, WA 99336
p: 509.460.4330
www.bfhd.wa.gov JustinG@bfhd.wa.gov

Follow us on

From: Rodgers,Deborah (CONTR) - TERR-TRI CITIES RMHQ
To: Howie, Matthew
Cc: Cummings,Nicole M (BPA) - TERR-TRI CITIES RMHQ
Subject: RE: Jadwin McMurray Apts (M2022-101)
Date: Wednesday, October 12, 2022 4:33:46 PM
Attachments: image002.png
image003.png

Matthew,

Bonneville Power Administration's (BPA) has had the opportunity to review Jadwin McMurray Apartments (M2022-101). The proposal is to develop approximately 3.95 acres with five building apartment complex, containing 114 dwelling units, clubhouse, leasing office, parking lots and landscaped areas. The project is located at 1866 Jadwin Avenue in Richland , WA.

In researching our records, we have found that this proposal will not directly impact BPA facilities approximately 854 feet west of the subject property. BPA does not have any objections to the approval of this request at this time.

If you have any questions or need additional information, please feel free to contact Nicole Cummings at (509) 542-5499 or by email at nmcummings@bpa.gov.

Thank you for the opportunity to review this application.

Deborah Rodgers
Realty Technician Contractor
2211 North Commercial Avenue, Pasco, WA 99301
Bonneville Power Administration | TERR/Tri-Cities-RNHQ
Real Property Field Services | (509) 544-4749

From: Howie, Matthew <mhowie@ci.richland.wa.us>
Sent: Wednesday, September 21, 2022 1:32 PM
To: Acevedo, Mizael <macevedo@CI.RICHLAND.WA.US>; Ashley Garza <agarza3605@gmail.com>; Ashley Morton <AshleyMorton@ctuir.org>; Badger Mountain Irrigation District <bmidmanager@badgermountainirrigation.com>; Benton County - Segregations <Segregations@co.benton.wa.us>; Benton PUD, Broadband <osp@noanet.net>; Benton PUD, Electrical <engservice@bentonpud.org>; Bill Barlow <bbarlow@bft.org>; Buechler, Ken <KBuechler@CI.RICHLAND.WA.US>; Carrie Thompson <carrie.thompson@bnsf.com>; Casey Barney, Yakama Nation <Casey_Barney@Yakama.com>; Catherine Dickson <catherinedickson@ctuir.org>; Clark Posey <clark.posey@co.benton.wa.us>; Corrine Camuso, Yakama Nation <Corrine_Camuso@Yakama.com>; Hamilton, Craig <C.Hamilton@bces.wa.gov>; DAHP SEPA Reviews <sepa@dahp.wa.gov>; DAlessandro, Carlo <cdalessandro@CI.RICHLAND.WA.US>; Damrell, Kevin <kdamrell@CI.RICHLAND.WA.US>; Darrick Dietrich <darrick@basindisposal.com>; Davis, Deanna <d.davis@bces.wa.gov>; Rodgers,Deborah (CONTR) - TERR-TRI CITIES RMHQ <dxrodgers@bpa.gov>; Deskins, John <jdeskins@CI.RICHLAND.WA.US>; Doan, Charles <cdoan@CI.RICHLAND.WA.US>; Eric Mendenhall <emendenhall@westrichland.org>; FormerOrchards@ecy.wa.gov;

gis@co.benton.wa.us; Greg Wendt <greg.wendt@co.benton.wa.us>; Gwen Clear <gcle461@ecy.wa.gov>; Hill, Kelly <khill@CI.RICHLAND.WA.US>; Jason McShane <jmcshane@kid.org>; Jessica Lally, Yakama Nation <Jessica_Lally@Yakama.com>; John Lyle <john.lyle@bentoncleanair.org>; Jordon, Joshua <jojordon@CI.RICHLAND.WA.US>; Cottrell II,Joseph E (BPA) - TERR-TRI CITIES RMHQ <jecottrell@bpa.gov>; Junior Campos <junior.campos@charter.com>; Katherine Cichy <katherine.cichy@ziply.com>; Kelly Cooper <kelly.cooper@doh.wa.gov>; Kevin Knodel <kevin.knodel@rsd.edu>; Kevin Sliger <KSliger@bft.org>; KID Development <development@kid.org>; KID Webmaster <webmaster@kid.org>; M. Deklyne <mjdeklyne@bpa.gov>; Map BCES <map@bces.wa.gov>; Mattheus, Pamela <pmattheus@CI.RICHLAND.WA.US>; Michael Tovey <michael.tovey@ziply.com>; Noah Lee <noah.lee@bentoncleanair.org>; Noah Oliver, Yakama Nation <Noah_Oliver@Yakama.com>; Paul Gonseth <gonsetp@wsdot.wa.gov>; Reathaford, Jason <JReathaford@CI.RICHLAND.WA.US>; Review Team <reviewteam@commerce.wa.gov>; Richard Krasner <richard.krasner@rsd.edu>; USPS Richland Postmaster <99352RichlandWA-Postmaster@usps.gov>; Rick Dawson <rickd@bfhd.wa.gov>; Robin Priddy <robin.priddy@bentoncleanair.org>; Sarah Gates <s.gates@bces.wa.gov>; Schiessl, Joe <JSchiessl@CI.RICHLAND.WA.US>; SEPA Center <sepacenter@dnr.wa.gov>; SEPA Register <separegister@ecy.wa.gov>; SEPA Unit <sepaunit@ecy.wa.gov>; Seth DeFoe <SDefoe@kid.org>; South Central Region Planning <scplanning@wsdot.wa.gov>; T.S. "Max" Platts <PlattsT@wsdot.wa.gov>; Tyutyunnik, Ruvim <rtyutyunnik@CI.RICHLAND.WA.US>; WA Dept of Fish & Wildlife <lopezlal@dfw.wa.gov>; WA Dept of Fish & Wildlife <rittemwr@dfw.wa.gov>; WDFW <R3Planning@dfw.wa.gov>; Westphal, Nichole <nwestphal@ci.richland.wa.us>; Whittier, John <jwhittier@CI.RICHLAND.WA.US>; William Simpson <william.simpson@commerce.wa.gov>
Subject: [EXTERNAL] Jadwin McMurray Apts (M2022-101)

Hello all,

Please see attached for the Jadwin McMurray Apartments (M2022-101). Please review and provide comments by 5pm, October 12th.

Matthew Howie
Senior Planner
625 Swift Blvd., MS-35 | Richland, WA 99352
(509) 942-7587

From:	ECY RE CRO SEPA Coordinator
To:	Howie, Matthew
Subject:	Comments for M2022-101
Date:	Monday, October 10, 2022 3:41:55 PM
Attachments:	202204753_BENTON_Jadwin Multi-Family Development.pdf

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Please see the attached comment letter for the Jadwin Multi-Family Development.

Share these comments with the applicant.

Thank you,

Lucila Cornejo
WA State Dept. of Ecology
Central Regional ERTS & SEPA Coordinator
1250 W, Alder Street
Union Gap, WA 98903-0009
(509) 208-4590

STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY
Central Region Office
1250 West Alder St., Union Gap, WA 98903-0009 • 509-575-2490

October 10, 2022

Matthew Howie
Senior Planner
625 Swift Boulevard
Richland, WA 99352

RE: 202204753, M2022-101

Dear Matthew Howie,

Thank you for the opportunity to comment on the Notice of Application for the Jadwin Multi-Family Development. We have reviewed the application and have the following comment.

WATER QUALITY

Project with Potential to Discharge Off-Site

If your project anticipates disturbing ground with the potential for stormwater discharge off-site, the NPDES Construction Stormwater General Permit is recommended. This permit requires that the SEPA checklist fully disclose anticipated activities including building, road construction and utility placements. Obtaining a permit may take 38-60 days.

The permit requires that a Stormwater Pollution Prevention Plan (Erosion Sediment Control Plan) shall be prepared and implemented for all permitted construction sites. These control measures must be able to prevent soil from being carried into surface water and storm drains by stormwater runoff. Permit coverage and erosion control measures must be in place prior to any clearing, grading, or construction.

In the event that an unpermitted Stormwater discharge does occur off-site, it is a violation of Chapter 90.48 RCW, Water Pollution Control and is subject to enforcement action.

More information on the stormwater program may be found on Ecology's stormwater website at: http://www.ecy.wa.gov/programs/wq/stormwater/construction/. Please submit an application or contact Lloyd Stevens, Jr. at the Dept. of Ecology, (509) 571-3866 or lloyd.stevensjr@ecy.wa.gov with questions about this permit.

WATER RESOURCES

Dust Control from a Well

If you plan to use water for dust suppression at your project site, be sure that you have a legal right. In Washington State, prospective water users must obtain authorization from the Department of Ecology before diverting surface water or withdrawing ground water, with one exception. Ground water withdrawals of up to 5,000 gallons per day used for single or group domestic supply, up to 5,000 gallons per day used for industrial purposes, stock watering, and for the irrigation of up to one-half acre of non-commercial lawn and garden are exempt from the permitting process. Water use under the RCW 90.44.050 exemption establishes a water right that is subject to the same privileges, restrictions, laws and regulations as a water right permit or certificate obtained directly from Ecology. Temporary permits may be obtainable in a short time-period. The concern of Water Resources is for existing water rights. In some instances water may need to be obtained from a different area and hauled in or from an existing water right holder.

If you have any questions or would like to respond to these Water Resources comments, please contact Christopher Kossik at (509) 379-1826 or email at christopher.kossik@ecy.wa.gov.

Sincerely,

Lucila Cornejo

Lucila Cornejo
SEPA Coordinator
Central Regional Office
(509) 208-4590
crosepacoordinator@ecy.wa.gov

From: Daniel Tissell
To: Howie, Matthew
Subject: RE: Jadwin McMurray Apts (M2022-101)
Date: Tuesday, September 27, 2022 2:47:06 PM
Attachments: image003.png

Matthew,

KID has no comment regarding this matter.

Thanks,

Daniel Tissell, P.E.
Assistant Engineering Manager
Kennewick Irrigation District
2015 S. Ely Street
Kennewick, WA 99337
(509) 586-6012 ext. 116

From: Howie, Matthew <mhowie@ci.richland.wa.us>
Sent: Wednesday, September 21, 2022 1:32 PM
To: Acevedo, Mizael <macevedo@CI.RICHLAND.WA.US>; Ashley Garza <agarza3605@gmail.com>; Ashley Morton <AshleyMorton@ctuir.org>; Badger Mountain Irrigation District <bmidmanager@badgermountainirrigation.com>; Benton County - Segregations <Segregations@co.benton.wa.us>; Benton PUD, Broadband <osp@noanet.net>; Benton PUD, Electrical <engservice@bentonpud.org>; Bill Barlow <bbarlow@bft.org>; Buechler, Ken <KBuechler@CI.RICHLAND.WA.US>; Carrie Thompson <carrie.thompson@bnsf.com>; Casey Barney, Yakama Nation <Casey_Barney@Yakama.com>; Catherine Dickson <catherinedickson@ctuir.org>; Clark Posey <clark.posey@co.benton.wa.us>; Corrine Camuso, Yakama Nation <Corrine_Camuso@Yakama.com>; Hamilton, Craig <C.Hamilton@bces.wa.gov>; DAHP SEPA Reviews <sepa@dahp.wa.gov>; DAlessandro, Carlo <cdalessandro@CI.RICHLAND.WA.US>; Damrell, Kevin <kdamrell@CI.RICHLAND.WA.US>; Darrick Dietrich <darrick@basindisposal.com>; Davis, Deanna <d.davis@bces.wa.gov>; Deborah Rodgers <dxrodgers@bpa.gov>; Deskins, John <jdeskins@CI.RICHLAND.WA.US>; Doan, Charles <cdoan@CI.RICHLAND.WA.US>; Eric Mendenhall <emendenhall@westrichland.org>; FormerOrchards@ecy.wa.gov; gis@co.benton.wa.us; Greg Wendt <greg.wendt@co.benton.wa.us>; Gwen Clear <gcle461@ecy.wa.gov>; Hill, Kelly <khill@CI.RICHLAND.WA.US>; Jason McShane <JMcShane@kid.org>; Jessica Lally, Yakama Nation <Jessica_Lally@Yakama.com>; John Lyle <john.lyle@bentoncleanair.org>; Jordon, Joshua <jojordon@CI.RICHLAND.WA.US>; Joseph Cottrell <jecottrell@bpa.gov>; Junior Campos <junior.campos@charter.com>; Katherine Cichy <katherine.cichy@ziply.com>; Kelly Cooper <kelly.cooper@doh.wa.gov>; Kevin Knodel <kevin.knodel@rsd.edu>; Kevin Sliger <KSliger@bft.org>; Development <development@kid.org>; Matthew Berglund <MBerglund@kid.org>; M. Deklyne

<mjdeklyne@bpa.gov>; Map BCES <map@bces.wa.gov>; Mattheus, Pamela <pmattheus@CI.RICHLAND.WA.US>; Michael Tovey <michael.tovey@ziply.com>; Noah Lee <noah.lee@bentoncleanair.org>; Noah Oliver, Yakama Nation <Noah_Oliver@Yakama.com>; Paul Gonseth <gonsetp@wsdot.wa.gov>; Reathaford, Jason <JReathaford@CI.RICHLAND.WA.US>; Review Team <reviewteam@commerce.wa.gov>; Richard Krasner <richard.krasner@rsd.edu>; USPS Richland Postmaster <99352RichlandWA-Postmaster@usps.gov>; Rick Dawson <rickd@bfhd.wa.gov>; Robin Priddy <robin.priddy@bentoncleanair.org>; Sarah Gates <s.gates@bces.wa.gov>; Schiessl, Joe <JSchiessl@CI.RICHLAND.WA.US>; SEPA Center <sepacenter@dnr.wa.gov>; SEPA Register <separegister@ecy.wa.gov>; SEPA Unit <sepaunit@ecy.wa.gov>; Seth Defoe <SDefoe@kid.org>; South Central Region Planning <scplanning@wsdot.wa.gov>; T.S. "Max" Platts <PlattsT@wsdot.wa.gov>; Tyutyunnik, Ruvim <rtyutyunnik@CI.RICHLAND.WA.US>; WA Dept of Fish & Wildlife <lopezlal@dfw.wa.gov>; WA Dept of Fish & Wildlife <rittemwr@dfw.wa.gov>; WDFW <R3Planning@dfw.wa.gov>; Westphal, Nichole <nwestphal@ci.richland.wa.us>; Whittier, John <jwhittier@CI.RICHLAND.WA.US>; William Simpson <william.simpson@commerce.wa.gov>
Subject: Jadwin McMurray Apts (M2022-101)

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Matthew Howie
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